



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Sayvale 20,
c/o Meitheal Architects,
1 South Mall,
Cork T12 XOPR.

07/11/2023

**RE: Section 5 Declaration R805/23 Former National School at
North Presentation Convent, Hillgrove Lane, Blackpool, Cork.**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 11th October 2023, I wish to advise as follows:

In view of the above and having regard to:

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended), and
- Articles 6, 9 and 10 of the Planning and Development Regulations 2001 (as amended),

The Planning Authority considers that –

Proposed change of use, from school to residential use, and the facilitatory works associated at the Former National School at North Presentation Convent, Hillgrove Lane, Blackpool, Cork **IS DEVELOPMENT** and **IS NOT EXEMPTED DEVELOPMENT**.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 07th November 2023.



We are Cork.

Is mise le meas,

A handwritten signature in black ink, appearing to read "Kate Magner". The signature is written in a cursive style with a large initial 'K' and 'M'.

Kate Magner
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council

PLANNER'S REPORT Ref. R805/23		Cork City Council Culture, Community and Placemaking
Application type	Section 5 Declaration	
Description	<i>Are the internal reconfiguration works, to the former school at North Presentation School, Blackpool from a discussed school building into 8 No. apartments, considered development, where the works are deemed exempt by the attached Section 57 issued by Cork County Council and therefore in line with S.I.75 of 2022 Planning and Development Act (Exempted Development) Regulations?</i>	
Location	Former National School at North Presentation Convent, Hillgrove Lane, Blackpool	
Applicant	Sayvale 20	
Date	07/11/2023	
Recommendation	<i>Is Development and Is Not Exempted Development</i>	

In this report 'the Act' means the Planning and Development Act 2000 (as amended) and 'the Regulations' means the Planning and Development Regulations 2001 (as amended), unless otherwise indicated.

1. Requirements for a Section 5 Declaration

Section 5(1) of the Planning and Development Act 2000 as amended states,

5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

The requirements for making a section 5 declaration are set out in the Act.

2. The Question before the Planning Authority

In framing the question to the planning authority, the applicant states in Q2 of the application form:

Are the internal reconfiguration works, to the former school at North Presentation School, Blackpool from a discussed school building into 8 No. apartments, considered development, where the works are deemed exempt by the attached Section 57 issued by Cork County Council and therefore in line with S.I.75 of 2022 Planning and Development Act (Exempted Development) Regulations?

Under 'Additional Details' the form sets out:

The applicant has engaged with Cork City Councils Ms. Ashleigh Murray to identify the acceptable levels of demolition and construction that are in line with their view of exempted development within the realms of this structure and proposes to undertake all works in line with this exemption and therefore the SI 75 of 2022 Planning and Development Act [Exempted Development] Regulations.

In order to satisfy the requirement of the section 57 declaration to obtain written confirmation from the planning authority prior to commencing works, we have attached the following to this application as a means of providing additional relevant information as requested in A.3 and B.1 of the declaration No. PS1141, D29/05/23:

1. Detailed condition survey and method statement

2. *Photographic record of the proposed works*
3. *Drawings & details outlining proposed materials, internal historic features to be removed, external lighting, location of service vents in the external fabric, temporary removal of any building fabric and how it is to be used and rebuilt and details of reglazing and trickle vents inserted into existing windows.*

3. Site Description

The property in question is described in the application form as a former national school. It forms part of the assemblage of buildings known as the North Presentation Convent, and is therefore within the curtilage of PS Ref. No. 1141. Three structures, within the Convent curtilage, are identified in the NIAH (School Ref. No. 20862057, Convent/Nunnery Ref. No. 20862058 and Church/Chapel Ref. No. 2082059). The site is also within the Blackpool Architectural Conservation Area (ACA).

The subject building is a two storey multi-bay building, stated in the application form to be a former national school and a disused school building.

4. Planning History

Two relevant planning applications are referred to which are both attached to this site:

- 10/34573** a) removal of external escape stair & ancillary single storey outbuildings to the north of the main Convent to allow provision of a new enclosed stair core; b) partial removal of ambulatory to the rear for provision of new sun room; c) Upgrade of windows at second and third floor levels and minor elevation alterations; d) removal of existing dormer windows and re-roofing of existing roof; e) all associated site development works including reconfiguration of existing driveway & car parking

Outcome Granted by Cork City Council – no appeal

Red line does not include subject building but photograph below shows this building and labels it as **Old Boy’s School**.



- 03/27758** Removal and replacement in uPVC of existing external windows and doors
Council Decision Refused
Appeal ABP Ref. No. 28.205763
Outcome Refused

There is no evidence that permission was subsequently given for any change of use from school to another use class. The Convent was established in the late 18th century and early 19th century and the appeal building probably dates from that time.

5. Legislative Provisions

5.1 The Act

Section 2(1),

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3(1),

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or ‘the making of any material change in the use of any structures or other land’

Section 4(1)(h),

The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4(2),

Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001-2013.

Section 5(1),

(See section 1 of this report)

Section 177U (9) (screening for appropriate assessment)

In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.

5.2 The Regulations

Article 9 (1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act

- (a) (i) if the carrying out of such development would... contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,*
- (a) (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*

S.I. No. 75/2022 - Planning and Development Act (Exempted Development) Regulations 2022

Article 10 (1)

Development which consists of a change of use within any one of the classes of use as specified in Part 4 of Schedule 2, shall be exempted development for the purposes of the Act, provided that the development, if carried out would not –

- (c) be inconsistent with any use specified or included in such a permission, or*

- (d) be development where the existing use is an unauthorised, save where the change of use consists of resumption of a use which is not unauthorised and which has not been abandoned

Article 10(6)

- (a) In this sub-article—

'habitable room' means a room used for living or sleeping purposes but does not include a kitchen that has a floor area of less than 6.5 square metres;

'relevant period' means the period from 8 February until 31 December 2025.

- (b) This sub-article relates to a proposed development, during the relevant period, that consists of a change of use to residential use from Class 1, 2, 3, 6 or 12 of Part 4 to Schedule 2.

- (c) Notwithstanding sub-article (1), where in respect of a proposed development referred to in paragraph (b)—

(i) the structure concerned was completed prior to the making of the Planning and Development (Amendment) (No. 2) Regulations 2018,

(ii) the structure concerned has at some time been used for the purpose of its current use class, being Class 1, 2, 3, 6 or 12 and

(iii) the structure concerned, or so much of it that is the subject of the proposed development, has been vacant for a period of 2 years or more immediately prior to the commencement of the proposed development,

then the proposed development for residential use, and any related works, shall be exempted development for the purposes of the Act, subject to the conditions and limitations set out in paragraph (d).

- (d) (i) The development is commenced and completed during the relevant period.

(ii) Subject to sub-paragraph (iii), any related works, including works as may be required to comply with sub-paragraph (vii), shall

(I) primarily affect the interior of the structure

(II) retain 50 per cent or more of the existing external fabric of the building, and

(III) not materially affect the external appearance of the structure so as to render its appearance inconsistent with the character of the structure or of neighbouring structures.

(iii) Any related works for the alteration of existing ground floor shop fronts shall be consistent with the fenestration details and architectural and streetscape character of the remainder of the structure or of neighbouring structures.

(iv) No development shall consist of or comprise the carrying out of works to the ground floor area of any structure which conflicts with any objective of the relevant local authority development plan or local area plan, pursuant to the Part 1 of the First Schedule to the Act, for such to remain in retail use, with the exception of any works the purpose of which is to solely provide on street access to the upper floors of the structure concerned.

(v) No development shall consist of or comprise the carrying out of works which exceeds the provision of more than 9 residential units in any structure.

(vi) Dwelling floor areas and storage spaces shall comply with the minimum floor area requirements and minimum storage space requirements of the "Sustainable Urban Housing: Design Standards for New Apartments — Guidelines for Planning Authorities" issued under section 28 of the Act or any subsequent updated or replacement guidelines.

(vii) Rooms for use, or intended for use, as habitable rooms shall have adequate natural lighting.

(viii) No development shall consist of or comprise the carrying out of works to a protected structure, as defined in section 2 of the Act, save where the relevant planning authority has issued a declaration under section 57 of the Act to the effect that the proposed works would not materially affect the character of the structure or any element, referred to in section 57(1)(b) of the Act, of the structure.

(ix) No development shall contravene a condition attached to a permission under the Act or be inconsistent with any use specified or included in such a permission.

(x) No development shall relate to any structure in any of the following areas:

- (I) *an area to which a special amenity area order relates;*
- (II) *an area of special planning control;*
- (III) *within the relevant perimeter distance area, as set out in Table 2 of Schedule 8, of any type of establishment to which the Major Accident Regulations apply.*
- (xi) *No development shall relate to matters in respect of which any of the restrictions set out in subparagraph (iv), (vii), (viiA), (viiB), (viiC), (viii) or (ix) of article 9(1)(a), or paragraph (c) or (d) of article (9)(1), would apply.*
- (xii) *No development shall consist of or comprise the carrying out of works for the provision of an onsite wastewater treatment and disposal system to which the code of practice made by the Environmental Protection Agency pursuant to section 76 of the Environmental Protection Agency Act 1992 relates and entitled Code of Practice — Wastewater Treatment and Disposal Systems Serving Single Houses together with any amendment to that Code or any replacement for it.*
- (e)(i) *Where a person proposes to undertake development to which paragraph (b) relates, then he or she shall in the case of development relating to Class 1, 2, 3, 6 or 12 of Part 4 to Schedule 2, notify in writing the planning authority in whose functional area that the change of use will occur not less than 14 days prior to the commencement of the works related to the proposed change of use and any related works;*
- (ii) *Details of each notification under subparagraph (i), which shall include information on—*
 - (I) *the location of the structure,*
 - (II) *the number of residential units involved, including the unit sizes and number of bedrooms in each unit, and*
 - (III) *the Eircode for the relevant property,**Shall be entered in a record by the planning authority maintained for this purpose and the record shall be available for inspection at the offices of the planning authority during office hours and on the planning authority’s website.*
- (iii) *During the years 2019, 2020, 2021, 2022, 2023, 2024, 2025 and 2026 each planning authority shall provide information to the Minister on the number of notifications received by it under this paragraph during the preceding calendar year, including details of the information so received for the purposes of subparagraph (ii).*

6. ASSESSMENT

It should be stated at the outset that the purpose of this report is not to determine the acceptability or otherwise of the proposal at this location in respect to the proper planning and sustainable development of the area, but rather whether or not the matter in question constitutes development, and if so falls within the scope of exempted development.

6.1 Development

The first issue for consideration is whether or not the matter at hand is ‘development’.

‘Development’ as defined in the Act (3)(1) comprises two possible chief components: ‘the carrying out of any works on, in, over or under land’, or ‘the making of any material change in the use of any structures or other land’. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

‘Works’ is defined in section 2(1) of the Act as ‘the carrying out of any works on, in, over, or under land’ including ‘any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure’.

I consider that the proposal constitutes development as it comprises of works and a material change of use – from school to residential use.

6.2 Exempted development

The next issue for consideration is whether or not the matter at hand is exempted development.

The principle question set before the Planning is:

Are the internal reconfiguration works, to the former school at North Presentation School, Blackpool from a discussed school building into 8 No. apartments, considered development, where the works are deemed exempt by the attached Section 57 issued by Cork County Council and therefore in line with S.I.75 of 2022 Planning and Development Act (Exempted Development) Regulations?

It is considered that there are 2 principle elements to this question, whether the proposed change of use is in line with S.I. 75, which amended Article 10 of *Planning and Development Regulations 2001 (as amended)*, and therefore exempt, and whether the proposed works to facilitate this change of use are exempt, noting that this is a Protected Structure and in an ACA.

The application includes a copy of a Section 57 Declaration (ref. no. PS1141, D29/05/2023). It should be noted that the Section 57 Declaration relates only to works proposed to the Protected Structure. It does not comment regarding or relate in any way to the proposed change of use.

Circular PL02/2022 explains that S.I. 75 of 2022 extend exempted development provisions for change of use to residential development. The list of uses from which a change of use can be undertaken is set out in Article 10(6)(b) as being Classes Class 1, 2, 3, 6 or 12 as set out in *Exempted development – Classes of Use*, Part 4 of Schedule 2, of the *Planning and Development Regulations 2001 (as amended)*. These are:

- | | |
|----------|---|
| Class 1 | Use as a shop. |
| Class 2 | Use for the provision of –
(a) financial services,
(b) professional services (other than health or medical services),
(c) any other services (including a betting office),
Where the services are provided principally to visiting members of the public. |
| Class 3 | Use as an office, other than a use to which class 2 of this Part of this Schedule applies. |
| Class 6 | Use as a residential club, a guest house or a hostel (other than a hostel where care is provided). |
| Class 12 | Use as a Public House, meaning a premises which as been licenced for the sale and consumption of intoxicating liquor on the premises under the Licensing Acts 1833 to 2018. |

In addition Article 10(6)(c)(iii) requires that the structure concerned must be vacant for a period of 2 or more years.

The Section 5 application states refers to the subject building as a ‘former school’ and as a ‘disused school building’. This accords with the planning history of the site set out in section 4 above. Use as a school does not appear in Part 4 of Schedule 2. Accordingly there is no change of use, from school to any other use, is provided for under Article 10.

In addition the applicant has not stated for how long the building has been vacant.

It is considered therefore that the change of use from school to residential use does not accord with the extended exempted development provisions set out in S.I. 75. The change of use therefore requires planning permission.

Regarding the proposed works it is noted that the Section 57 Declaration (ref. no. PS1141, D29/05/2023) agreed that some works, detailed as part of the Section 57 application, would be classed as exempted development. This Section 5 application has been referred to the Conservation Officer who prepared the Section 57 Declaration. Their report recommends that further information is sought to clarify some aspects of the works now proposed.

Notwithstanding the issuing of this Section 57 Declaration, which focuses upon the proposed works only, I note that any works proposed to facilitate the change of use, for which planning permission is required, cannot be considered exempted development.

It is therefore concluded that the proposed change of use and facilitatory works are development and are not exempted development.

7. ENVIRONMENTAL ASSESSMENT

7.1 Screening for Environmental Impact Assessment

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly it is considered that an environmental impact statement is not required to be submitted.

7.2 Screening for Appropriate Assessment

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the *Habitats Directive*, the *Appropriate Assessment Guidelines for Planning Authorities 2009* (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of the European sites referred to above. Accordingly it is considered that appropriate assessment is not required.

8. Conclusion

The question has been asked:

Are the internal reconfiguration works, to the former school at North Presentation School, Blackpool from a discussed school building into 8 No. apartments, considered development, where the works are deemed exempt by the attached Section 57 issued by Cork County Council and therefore in line with S.I.75 of 2022 Planning and Development Act (Exempted Development) Regulations?

Having considered the particulars submitted with the application and the relevant legislation as set out above, it is considered that the proposed altered layout is development and is not exempted development.

9. RECOMMENDATION

In view of the above and having regard to —

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended), and
- Articles 6, 9 and 10 of the Planning and Development Regulations 2001 (as amended),

It is considered that proposed change of use, from school to residential use, and the facilitatory works associated, **Is Development and is Not Exempted Development.**



Martina Foley
Executive Planner

COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie

Fón/Tel: 021-4924709

Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. NAME OF PERSON MAKING THE REQUEST

Sayvale 20

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

Former National School at North Presentation Convent, Hillgrove lane, Blackpool, Cork

3. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Are the internal reconfiguration works, to the former school at North Presentation School, Blackpool from a disused school building into 8 No. apartments, considered development, where the works are deemed exempt by the attached Section 57 issued by Cork County Council and therefore in line with S.I. 75 of 2022 Planning and Development Act (Exempted Development) Regulations?

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:

(Use additional sheets if required).

The applicant has engaged with Cork City Council's Ms. Ashleigh Murray to identify the acceptable levels of demolition and construction that are in line with their view of exempted development within the realms of this structure and proposes to undertake all works in line with this exemption and therefore the SI 75 of 2022 Planning and Development Act (Exempted Development) Regulations.

In order to satisfy the requirement of the section 57 declaration to obtain written confirmation from the planning authority prior to commencing works, we have attached the following to this application as a means of providing additional relevant information as requested in A.3 and B.1 of the declaration No. PS1141, D29/05/23:

1. Detailed condition survey and method statement
2. Photographic record of the proposed works
3. Drawings & details outlining proposed materials, internal historic features to be removed, external lighting, locations of service vents in the external fabric, temporary removal of any

building fabric and how it is to be used and rebuilt and details of the reglazing and trickle vents inserted into existing windows.

4. Are you aware of any enforcement proceedings connected to this site? No.
If so please supply details:

5. Is this a Protected Structure or within the curtilage of a Protected Structure? YES
If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? YES

6. Was there previous relevant planning application/s on this site? YES

If so please supply details:

0327758- Refers to application for presentation secondary school not the primary school

1034573 – Refers to development of the main convent building.

7. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	370.9 sq.m
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m)
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
Former National School	8 No. social and affordable apartments

7. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name of the owner if available		

8. I / We confirm that the information contained in the application is true and accurate:

Signature:  (Agent acting on behalf of client)

Date: 11/10/23

ADVISORY NOTES:

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

**The Development Management Section, Community, Culture & Placemaking
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.**

- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION

"Cork City Council is committed to fulfilling its obligations imposed by the Data Protection Acts 1988 to 2018 and the GDPR. Our privacy statement and data protection policy is available at <https://www.corkcity.ie/en/council-services/public-info/gdpr/>

We request that you read these as they contain important information about how we process personal data.

Planning & Development Act 2000 (as amended)

Declaration under section 57 (2) of the Act

Reference: PS1141, D29/05/23

Address: Former National School at North Presentation Convent, Hillgrove Lane,
Blackpool, Cork

Name of owner/occupier:

Sayvale 20
C/O Vistra Ireland.
Block A,
One George's Quay Plaza,
George's Quay,
Dublin

Protection Status:

- The structure forms part of the curtilage of the Protected Structure (PS1141)
North Presentation Convent
- Relevant National Inventory Architectural Heritage (NIAH) entries:
 - Reg: 20862058 (Convent, references former school to rear),
 - Reg: 20862059 (Chapel)
 - Reg: 20862057 (Former Infant School)
- Blackpool Architectural Conservation Area

Request for declaration: 22nd May 2023

Inspected by the Conservation Officers: 14th February 2023

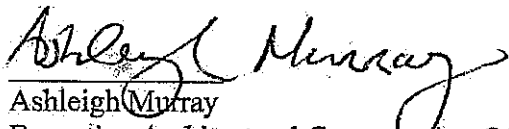
Brief description of structure:

The former school forms part of a complex that comprises a convent, chapel, former infant school and modern North Presentation Catholic Primary School. The convent and chapel were erected in c. 1830, and the chapel may have been the work of the Presentation brother and architect, Rev Michael Augustine Riordan, who was also involved in the Ursuline Convent in Blackrock. The former infant school was designed by Sir John Benson and opened in 1872, replacing an earlier structure.

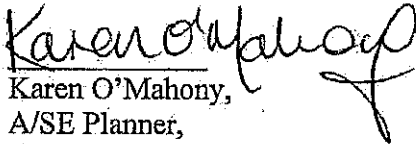
The former school, the subject of this Declaration, appears to be a mid-19th-century addition at the rear of the site. It is a plain historic structure that is of social and cultural interest in terms of its connection with the convent complex. The form and external expression of the building is of significance, whilst the interior is of limited interest.

Recommendation to Director of Service:

I recommend a declaration, under section 57 (2) of the Planning & Development Act 2000 (as amended), be issued to the representative of the owner/occupier in the terms set out attached.



Ashleigh Murray
Executive Architectural Conservation Officer



Karen O'Mahony,
A/SE Planner,
Strategic Planning & Economic Development
Date: 25th May 2023

Declaration

Pursuant to the Provisions of Section 57 (2) of the Planning & Development Act, 2000 (as amended)

Declaration No: PS1141, D29/05/23

RE: Former National School at North Presentation Convent, Hillgrove Lane, Blackpool, Cork

(A) Cork City Council considers that the following works would materially affect the character of the protected structure or of any element of the protected structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest and therefore require planning permission:

1. Changes to the exterior fabric and appearance - including but not limited to the replacement of historic windows and doors and associated historic glazing, changes to the window and door ope sizes, the roof profile or roof covering, removal of chimney stacks, re-rendering, removal of the external staircases, or alteration or removal of the boundary wall - unless very minor in nature; see Section B below.
2. Erection of extensions to the protected structure.
3. Extensive wholesale repair works, unless these are undertaken with best conservation practice and a detailed Condition Survey and Method Statement are provided and written agreement is obtained from the Planning Authority prior to works commencing. See note 5 below.
4. Removal of the central internal load-bearing spine wall.
5. Removal of the existing floor and any surviving historic floorboards between the ground and first floor.
6. Introduction of external uPVC.

(B) Cork City Council considers that the following works would not materially affect the character of the protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest and therefore do not require planning permission:

1. Minor changes to the exterior, such as the addition of lighting and small vents, subject to the works being sensitive to the character of the building and written agreement is obtained from the Planning Authority prior to works commencing. See note 5 below.
2. Alteration or removal of the two separate toilet blocks.
3. Removal of the modern shelters above the two external staircases.
4. Relandscaping the courtyard.
5. Alteration of the internal plan form, apart from the removal of the central load-bearing spine wall.
6. Internal strip out of the interior subject to the submission of a Building Record, including a detailed written description and photographic record of proposed works, which shall be agreed with the Planning Authority prior to works commencing. See note 1 below.

7. Insertion of internal raised floors.
8. Insertion of internal modern fixtures and fittings.
9. Insertion of an internal certified vapour permeable drylining system.
10. Introduction of simply designed glazed secondary windows.
11. Installation and repair of internal mechanical services.
12. Redecoration and painting of interior.
13. Localised repair and routine maintenance works carried out in accordance with the Architectural Heritage Protection Guidelines (2011) and the Advice Series published by the Department of Housing, Local Government and Heritage.

Note 1: Where this Section 57 Declaration states that written agreement should be sought from the planning authority prior to works commencing, the information should be submitted to the planning authority by means of an application for a **Declaration under Section 5 of the Planning and Development Act 2000**. The application should be accompanied by such information as is necessary to demonstrate that the proposed works are justified, and that they will be carried out to best conservation practice standards, in such a way that the works will not materially alter the character of the protected structure.

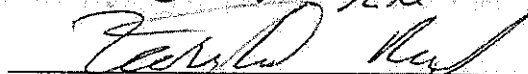
Note 2: The planning authority may review a declaration under Section 57 at any time irrespective of whether such review has been requested by the owner or occupier.

Note 3: Any person to whom a Declaration under S. 57, Subsection 3 (or a Declaration reviewed under Subsection 7 of Section 57) has been issued may on payment to an Bord Pleanála of such prescribed fee refer the Declaration for review by the Bord within 4 weeks from the date of issuing of the Declaration.

Note 4: The applicant shall note that Section 5 of the Planning and Development Act 2000 provides that where specific works are proposed to any structure including a protected structure any person may seek a Declaration under that section of the Act as to whether such works are/are not exempted development and that any person who would disagree with the decision would be entitled to appeal to An Bord Pleanála.

Note 6: All works to a protected structure must follow conservation principles and best practice. Works to this protected structure should be guided by the Architectural Heritage Protection Guidelines for Planning Authorities (2011) and the Advice Series publications on repair of historic structures found on the Department of Housing, Local Government and Heritage website (Built Heritage Policy Publications available free on the website).

Dated this 2nd day of June 202



Fearghal Reidy

**Director of Services, Strategic & Economic Development
Cork City Council**

To whom the appropriate powers have been delegated by Order of the Chief Executive

**CHIEF EXECUTIVE ORDER
COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL**

Order No.:

Subject: Declaration in pursuance of Section 57 (2) of the Planning & Development Act, 2000 (as amended)

Order:

In pursuance of the powers conferred on Cork City Council by Section 57 (2) of the Planning & Development Act, 2000 (as amended) and in accordance with the recommendations of the Conservation Officer, I hereby decide that the attached Declaration shall be issued to:

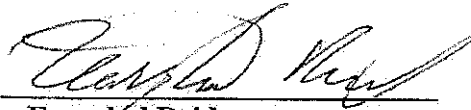
Applicant:

Sayvale 20
C/O Vistra Ireland.
Block A,
One George's Quay Plaza,
George's Quay,
Dublin

Of: c/o Catriona Hickey, Meitheal Architects, 1 South Mall, Cork, T12 CCN3

Which details the type of works which Cork City Council considers would or would not materially affect the character of the protected structure or of any element of the protected structure, which contributes to its special architectural, historical, architectural, artistic, cultural, scientific, social or technical interest.

Dated this *2nd* day of *June* 202



**Fearghal Reidy,
Director of Services,
Strategic & Economic Development.**

To whom the appropriate powers have been delegated by Order of the Chief Executive under Chief Executive Order Number 1154/23 dated 28th March 2023



North Presentation Convent Former National School

Building Condition & Works Method Statement

Fourem Conservation

September 2023



Background to The Report

This report has been carried out at the request of Meitheal Architects and Godwin Consult. The purpose of the report is to examine the condition of the building and make recommendations for the method of repairs and intervention. It is to be read cooperatively in conjunction with the Heritage Impact Assessment, Former National School at North Presentation Convent, by Daniel Noonan, Archaeological Consultancy, of April 2023 and any written correspondence with Cork City Council relating to planning and conservation issues.

The Nature of The Report

The report is based on reasonable visual inspection for conservation purposes only. There may be conditions that are unknown or cannot be known without further study, opening up and / or further examination. The report does not exhaustively list defects or condition. The report is not a structural report.

Aims of the Report

To support the employer to achieve a technologically lasting and sympathetic solution to the building and to support the authentic presentation and maintenance of the historic form and detail of the building in the public realm and wider setting. To achieve this, economical solutions are sought to ensure that heritage and conservation concerns are achieved in a practical way within planning and conservation process. Ultimately the building should be and should feel authentic in its environment and maintain the setting by informed repair and sympathetic addition taking opportunity to avoid material alteration make sympathetic, agreed improvement wherever possible.

Background to the Building

Former National School, North Presentation Convent, Hillgrove Lane, Blackpool

The school building forms part of a group of a Convent, Chapel, Former infant school and current North Presentation Catholic Primary School, on Gerald Griffin Street, Blackpool, Cork The school building relevant to this report faces north onto Hillgrove Lane which is to the east of Gerald Griffin Street. The enclosed convent gardens are to the south of the school. The building is located at ITM coordinates 567247, 572763.

The current building is typical in form and volume with pitched slate roof and evenly placed vertical windows and has generally fine detailing. It has its origin in 1871. Protected Structure Cork City PS 1141.*

*See Heritage Impact Assessment, Former National School at North Presentation Convent, Daniel Noonan, Archaeological Consultancy

Plain Language

This report is written in plain language to be easy to read, understand and use.

Safety First

Unoccupied buildings can be unsafe places. Health and safety procedures should be followed for all engagement with the structure and any building works.



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Summary of Building Condition

The building is in relatively good condition due to a functioning roof cover, with expected decay relating to its time unoccupied in recent years and the passage of time. It is a traditionally constructed masonry building with pitched roof. It has classical regularly spaced windows of up and down, weighted, sliding sashes, generally of three over three panes. The roof and roof structure must be maintained carefully as one lost slate could result in excessive damage.

Method Statement for Repairs and Additions

General Building Setting / External Works

The setting is taken as being the built landscape around the building and site viewed from the context of the local area. The project aims to have no effect to the existing setting but for improvement by way of repair and revealing of historic detail and presentation of a well maintained building of no addition(s) as viewed from Hillgrove Lane and from the south from the courtyard of the convent and school complex. Emphasis is placed on original forms of detail and historic quality and forms of material finish without resorting to value judgement. With every historic building decisions have to be made to repair or replace different elements. Every intervention should be addressed for the opportunity to demonstrate an improvement to the fabric or setting of the building. Judgement must be made by the employer on the level of intervention to be carried out, with their consultants and ideally, without exception, new intervention to facilitate new use should be reversable. The effect of new intervention on the structural performance of the building does not form part of this report.

General Internal Works

The addition of modern fabric to adapt the building to new use in a simple and identifiable manner while maintaining as much original detail and character as possible with emphasis on original features and historic forms of detail and material finishes.

Addition of New Elements

External

It is expected that few new elements be added to the building externally except sensitive landscaping and new agreed heritage based entrance doors to ground floor units. Additions of grilles, vents and new heritage downpipes and gutters to the courtyard are proposed additionally and require historic / heritage detailing in the historic 19th C. manner. The storage buildings are proposed to be reconditioned without overhanging eaves and with heritage half round gutters and heritage form circular downpipes. The limestone steps to the first floor are noted as of particular heritage interest. Any proposals to alter them or any other part of the fabric of the building should be notified to the conservation officer and agreed in detail or if not agreed presented for planning permission as a material change.

Internal

It is expected that there are additional new elements internally of services, partition walls, doors, floor surfaces and a level change generally arranged to reflect the linear plan. These additions may be simple in form to prevent jarring with the traditional or historic detail.

Windows and window surround details of architraves and / any original shutters to be retained and detailed in the new interiors. Some windows have sashes that require replacement (bottom sash of first floor windows). These to be replaced with sashes matching the detail and profile of the historic window sashes. All efforts to be made to retain architraves on doors and windows where possible.

It is considered sensible to support the idea of insulating and pouring a new screeded ground floor over the entire ground floor sympathetically detailed at the ground entrance doors with a limestone threshold.

The first floor structure is intended for use to include new floors and requires fire separation. Examination of the condition of floor joists may be carried out in the construction phase when opening up is carried out.

Repair of the existing building fabric

All existing external historic finishes whether seen or not, to be repaired and retained in the traditional form, detail and material without exception unless stated otherwise. Replacement of lintols above openings may be carried out from the inside to protect external finishes and insulating lime plasters may be used in recesses of windows internally.

Roof, Roof Detail, Roof Cover

The roof is finished in traditional slate detailed in the traditional manner and flashed with lead where required. The detail is of slate to plaster only with no trim, beads, barges, overhangs or fascia's except as presented in plastered masonry.

The eaves are detailed finely with no overhang except for the slate.

The roof has a traditional clay ridge tile bedded in mortar.

The roof does not seem to be leaking however the age and condition of the slates is unknown.

Method Statement for Repairs / Renewal

Roof, Roof Detail, Roof Cover

It is proposed to repair and maintain the existing roof coverings.

~~The roof to be repaired using matching slate with traditional form dark clay ridge tiles set in mortar (a concealed flashing may be proposed to protect the ridge board set under the clay tiles). It is noted works to the existing ridge tile are not yet proposed.~~

The eaves to be detailed as historically detailed with plaster external wall finishing under slates on gable and at eaves without any addition of fascia, overhang or soffit.

If the roof requires re-slatting, now or in the future it requires selected natural slates that do not require visible clips and ridge and eaves detailing in the traditional manner of clay ridge tiles set in mortar and minimal eaves with heritage form rainwater goods attached with brads.

Method Statement for Addition of New Elements

Roof, Roof Detail, Roof Cover

No new intervention items to the roof are proposed beyond matching repairs in the manner of the mid 19th C. except roof vents which should be kept to a minimum and placed sympathetically in the roof, (relating to the geometry of the building) and with clear commitment to and detail of the type of outlet proposed for extract or roof vent purpose. Vents should be avoided or designed out of requirement if practical / possible with consideration given to placement of outlets, detailed in the gable walls.

Proposals to be agreed with Conservation Officer:

Proposed Roof Ridge & Roof Eaves

Proposed Roof Vents or Gable Vents detail and location.

Eaves, Rainwater Goods

The eaves are detailed finely to the south with no overhang except for the slate.

Rainwater goods at the north eaves have been replaced and are inadequate in size for the building. Some cast iron downpipes remain but have signs of decay of fabric and leaking.

Method Statement for Repairs / Renewal

Eaves & Rainwater Goods External

The eaves to be detailed as historic detail with plaster external wall finishing under slates on gable and at eaves.

Rainwater goods (or soil vent pipes to the north) to be heritage cast iron or aluminium, to detail and painted (not jet black) in historic colour referencing the existing building evidence. Rainwater gutters to be half round heritage form, appropriately sized to be fitted with traditional brads only.

It is proposed to add additional downpipes to the North façade to heritage detail. The addition of rainwater downpipes to the south elevation may facilitate the central projection to the building which may require a separate downpipe and gutter traditionally detailed to repair a poor form of repair.

Method Statement for Addition of New Elements

Eaves & Rainwater Goods External

No new intervention items are proposed outside of rainwater goods fully matching historic detail. Additional rainwater goods and / or soil vent pipes may be used in a heritage detail / cast format to the elevations with appropriate sizing and shape for round heritage gutters and round downpipes using brads only for fixing of historic gutters.

Proposals to be agreed with Conservation Officer:

Proposed Roof Eaves and Rainwater Goods

Rainwater Goods including fixing.

External Walls & Wall Details

The walls are plastered externally with a mix of lime based mortar and lime and cement based mortars. The finishes are the traditional forms of harling to the South and smooth plaster to the North, East and West.

Method Statement for Repairs / Renewal

Walls & Wall Details

Walls to be plastered or locally repaired with lime plaster and mortar following inspection for hollow plaster or weakness or erosion.

Method Statement for Addition of New Elements

Walls & Wall Details

Examination of lintols above openings is required. Any lintols found to be defective may be replaced from inside using pre stressed concrete lintols matching the size generally, of historic timber lintols. Any good condition historic lintols may remain.

No new intervention items are proposed outside of items matching historic detail and finishes.

It can be rebuilt using the same masonry material with new mortar. It should be detailed visually externally with a plaster change carefully when rebuilt expressing the change in surface as centred on the entrance door. The opportunity to rebuild the entrance door in the manner of a 19th C. door in height and detail may be taken to benefit the setting.

The repaired wall could be smooth plaster in lime at the door to emphasise the door and disguise the alteration and emphasise the entrance. The smooth plaster could be scored to resemble like ashlar in the traditional 19th C. manner.

Proposals to be agreed with Conservation Officer:

New Door to Courtyard from Hillgrove Lane (may be raised in height).

Reconstructed wall at New Door from Hillgrove Lane.

Location and detail of external wall vents (to ground floor only).

Wall addition and detail to top of first floor access steps.

General Elevations with Downpipes

Doors and Windows

Windows are proposed to be repaired and decorated to good working order in best practice technique. A full inventory is contained within the Heritage Impact Assessment, Former National School at North Presentation Convent, Daniel Noonan, Archaeological Consultancy.

Entrance doors to the courtyard seem to be additions to the original building but the earliest form has obvious heritage value. The entrance door to the courtyard from Hillgrove lane is not original.

Method Statement for Repairs / Renewal

Doors and Windows

All doors and windows except those that are of new intervention, to be repaired in good working order and decorated and presented in working order in the historic manner and to best practice without alteration of form, material quality or detail: carrying out as little work as possible but to ensure retention and restoration of historic detail and longevity. Historic glass to be retained in situ except where a thermal upgrade of new glass may be proposed however this may not be possible to agree with the conservation officer. Secondary internal glazing may be a preferable solution and could be made in delicate timber frames, eliminating the need for addition of double glazing to historic frames and preventing the loss of heritage glass.

Method Statement for Addition of New Elements

Doors and Windows

New entrance doors to be renewed to adapt openings to Part M guidance. In sympathy with the setting, doors to be renewed with an historic appropriate design that is based on detail in the existing ground floor entrance doors on the North Elevation. The fanlights above the ground floor doors externally to the north elevation doors seem to be original and they are to be integrated into the new door interventions. The new intervention involves a wider door and reduction of or removal of the sidelights.

It is proposed to upgrade the glazed units in the historic sashes within habitable space. Windows in access / ancillary space to retain historic detail and historic glass. Equally windows could remain in historic detail with the addition of light internal secondary glazing.

Insulating plaster for historic buildings may be used in the reveals of the windows as necessary and/ or throughout the external walls.

Proposals to be agreed with Conservation Officer:

Proposal for New glazed external doors to historic detail Ground Floor and First Floor

Typical Window Detail / Upgrading or Secondary Glazing (with architraves retained below).

Landscape and Setting

The building is viewed from the surrounding area and from within the historic complex of buildings. These views should be recorded. It is not proposed to alter the historic setting or the detail of the building within the historic setting except for reinstatement of historic detail of the 19th C. lost in poorly considered additions (extruded gutters etc).

Method Statement for Repairs / Renewal

Landscape and Setting

The detail of walls, surfaces and outbuildings is proposed to be retained or reinstated as it was historically / originally while simplified by removal of noted additions of the late 20th Century such as corrugated sheet to the steps and extruded gutters.

All walls and surfaces to be maintained and repaired in lime mortar. All historic items either under concrete screed or visible as cast iron, drainage elements etc to be retained.

Alterations to store buildings in courtyard to be agreed.

Works are not proposed to the external limestone steps that access the first floor from the courtyard. The steps are notably solid limestone and are hand tooled.

Method Statement for Addition of New Elements

Landscape and Setting

It is proposed to landscape the courtyard inside the external walls in a manner appropriate to the historic setting and creating an amenity space for residents.

Lighting to be sympathetic to the 19th C courtyard with Heritage / Stable type fittings.

It is proposed to allow the courtyard to feel antique in its landscaping sitting in conjunction with the addition of new doors at ground level to the building.

Decoration of doors, windows and downpipes to be sympathetic to the historic environment.

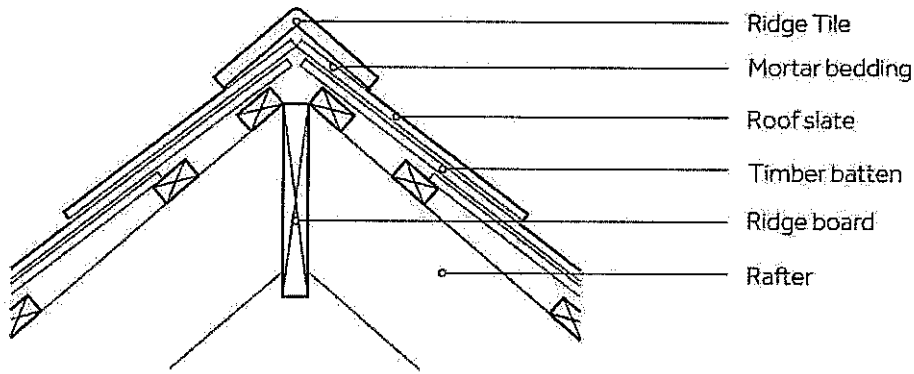
It may be necessary to remove concrete screed for landscaping and pipework purposes in places. It is suggested this be done in a considerate manner as retention of the existing concrete of the courtyard is desirable. It may be refinished with sandblasting and detailed at edges etc with kerbing or a new path from the entrance door to the courtyard. An appropriate tree may be added in the concrete by removal of a section to accommodate this. Generally the concrete is an asset (see poured concrete in front of Nano Nagle place).

The store rooms may need alteration for fire and escape reasons and this should be detailed carefully and agreed seeking improvement in detail, reverting to historic forms.

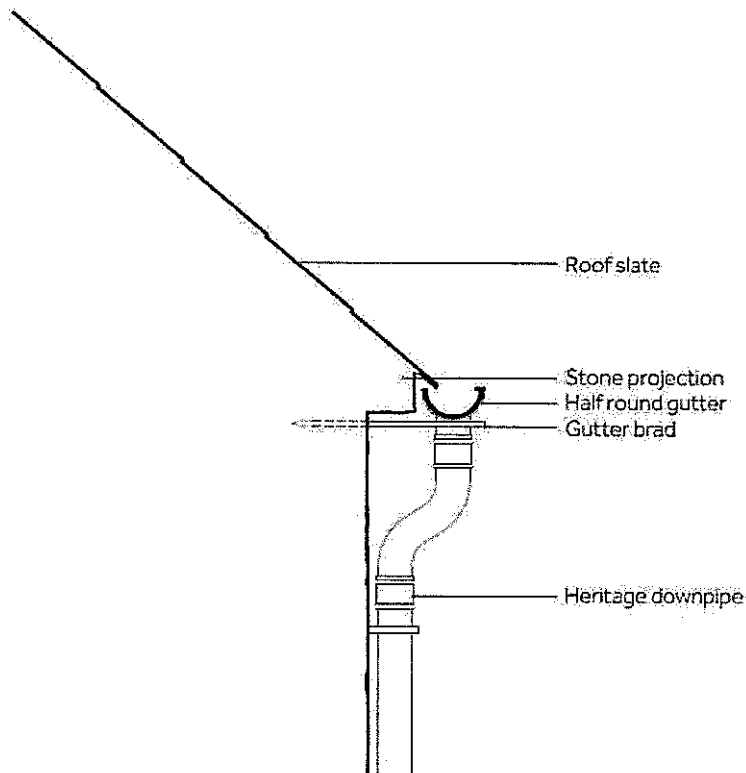
Proposals to be agreed with Conservation Officer:

Proposal for landscaping courtyard and for store buildings, doors and light fittings.

Typical Roof / Eaves / Downpipe Details



Ridge



Eaves

Summary of Recommendations

Carefully agree and place minimal roof vents.

Repair, replace and add to rainwater goods and fixings to historic detail.

Repair external walls in lime finishes to match existing.

Enabling form of entrance from Hillgrove Lane supporting removal of part of wall for construction access.

New historically detailed entrance door and surrounding wall at Hillgrove Lane.

Detail and agree all vents in walls.

Detail Walls to top of first floor external steps and agree.

Restore / retain windows to original detail (consider internal glazing).

Retain historic architraves to doors and windows internally.

Propose and agree new historically detailed glazed entrance doors.

~~Carry out and agree sympathetic landscaping~~

Agree sympathetic light fittings to Courtyard

Rebuild Storage Sheds to Courtyard as per 19th C Detailing

Decorate Building Externally in historic manner.

Retain Concrete Screed to courtyard where appropriate.

Drawings or Images of Proposals to be agreed with Conservation Officer:

Proposed Roof Ridge & Roof Eaves

Proposed Roof Vents

~~Proposed Roof Eaves and Rainwater Goods~~

Rainwater Goods including fixing.

New Door to Courtyard from Hillgrove Lane (may be raised in height).

Reconstructed wall at New Door from Hillgrove Lane.

Location and detail of external wall vents (to ground floor only).

Wall addition and detail to top of first floor access steps.

General Elevations with Downpipes

~~Proposal for New glazed external doors to historic detail Ground Floor and First Floor at Steps.~~

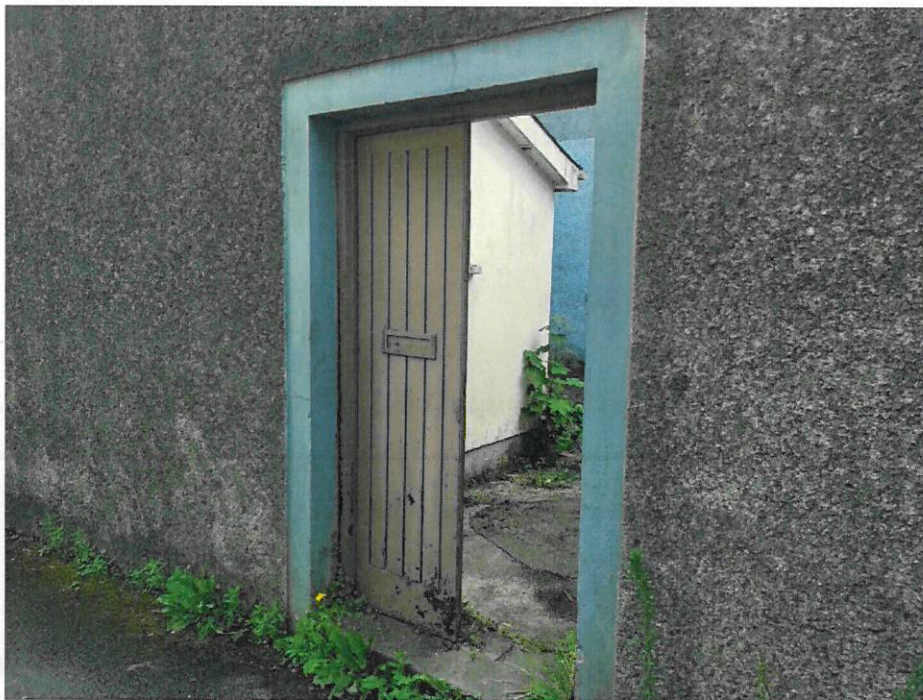
Typical Window Details and additions with architrave below.

Proposal for landscaping courtyard and for alterations to store buildings, doors and light fittings.

Site Images August 2023



The School from Hillgrove Lane



Entrance Door from Hillgrove Lane



Entrance Courtyard at ground floor, west side, north elevation



Entrance Courtyard, ground floor east side, north elevation.



Entrance Courtyard, north elevation historic timber door, blue.



Entrance Courtyard, north elevation historic timber door, green.



Entrance courtyard view from doorway at Hillgrove Lane.



Ground floor room south wall dry lined in plasterboard.



Ground floor room, window detail and wainscoting.



Ground floor room window detail to the south.



First floor room window detail to the south.



First Floor Room Window detail to the south.



First Floor Room window detail to the south.



East Elevation Window.



Courtyard Service Buildings at entrance.



Courtyard first floor access to the west.



Courtyard First Floor Access to the west.



View from Hillgrove Lane.



South Elevation.

P. J. G. Callaghan Windows Ltd



TIMELESS

SASH WINDOWS

Method

Statement

For

Refurbishing Timber Windows



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CE

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Tel: 046 9023323

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TIMELESS

SASH WINDOWS

Method Statement

Introduction

Timeless Sash windows have been asked by Meitheal Architects to survey the external windows in Old Boys School and prepare a summary report based on our survey.

The method statement encompasses the scope of works as set out in tender documents.

Company for whom work is undertaken	
Description of proposed Work	Refurbishing Of Timber Windows
Site address	
Office Telephone Number	046 9023323
Office Fax Number	046 9071133
Email address	pearse@sash.ie
Contact	Pearse Callaghan

The method statement will be revised by P & G Callaghan Windows Ltd when there is a requirement to change the working method for any reason.

Information contained in this document will be passed on to employees and form part of the health and safety plan for the site. It will be reinforced at daily safety talks, weekly briefings, when there is a change to the method of work.

A copy of this method statement and any subsequent revisions will be provided to the principal contractor for inclusion with the risk assessments in the Health and Safety Plan.

Due consideration has been given to the competency of our work force who we consider having adequate training, knowledge, experience and the appropriate personal qualities to carry out the work specified within the scope.



Duggan Industrial Estate, Trim, Co. Meath

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W: www.timelessashwindows.ie E: info@sash.ie

P & G. Callaghan Windows Ltd



TIMELESS

SASH WINDOWS

Timeless Sash Windows are a family run joinery business based in County Meath. We are making Timeless windows for over 40 years. For the last twenty-five years we have specialised in the manufacturing and refurbishment of period sash windows. Our team have hands on experience delivering Timeless Sash Windows and Doors for over 40 years, and here is a list of some prestigious properties we have worked on:

- Kileen Castle, County Meath
 - US Embassy, Phoenix Park
 - Adare Manor
 - Clancy Quay Barracks, Dublin
 - Cathal Burgh Barracks, Dublin
-
- Ashford Castle, Mayo
 - National Gallery of Ireland, Dublin
 - Butlers Gallery, Kilkenny



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Summary Of Windows

We noted that many of the windows are in a average condition and some in poor condition with all require essential repairs, which would be expected for windows of this age. We would recommend that all windows should have splice repairs while renovation and restoration is being carried out as this is the best practice to prolong the life of the frames such as new hardwood cill's, pulley stile's up to 300mm, outer liner's up to 300mm and sash bottom rails.

We found the all the existing frames were a number of sashes that were modern.

Some sashes are in a poor state of repair and badly warped/twisted.

Upon survey we found two glazing bar profiles in the property. These were as follows Ovolo glazing bar and a square profile on the modern sashes.

There is a minimal amount of old crown/historic glass in the existing windows, care is always to be taken to preserve and protect this glass.

(Please refer to "Anatomy Of Sash Window" on next page for individual repair items mentioned.)



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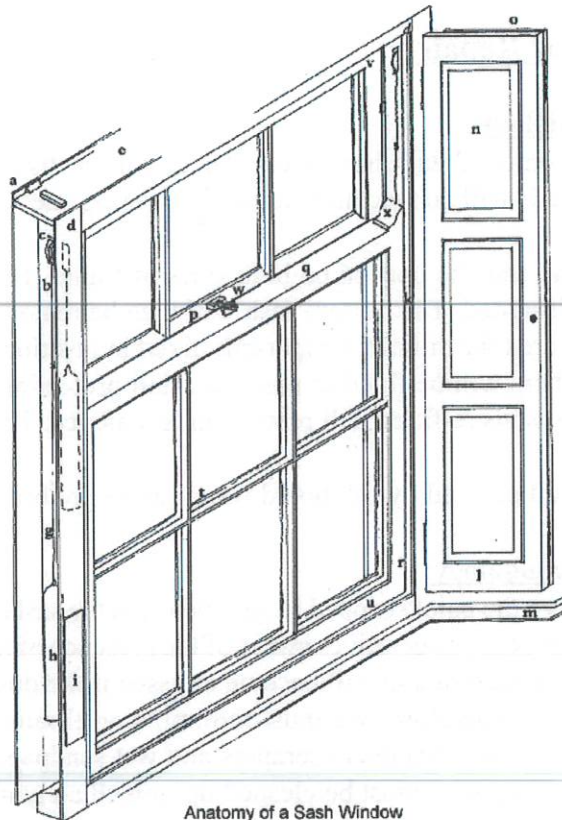
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TIMELESS SASH WINDOWS

SASH WINDOW ANATOMY

Below is a diagram showing anatomy of a sash window.



Anatomy of a Sash Window

Frame Parts

- a. outer lining
- b. pulley stile
- c. pulley
- d. inner lining
- e. head piece
- f. parting bead
- g. weight box
- h. weight
- i. pocket
- j. sill
- k. staff bead
- m. dado
- n. shutter panel
- o. shutter leaf

Sash Parts

- p. meeting rail top sash
- q. meeting rail bottom sash
- r. sash stile
- s. sash cord
- t. glazing bar
- u. bottom rail
- v. top rail
- w. catch
- x. horn

Please note this diagram is just for reference of parts, it is not a drawing of the windows in Old Boys School



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SASH WINDOWS

The window refurbishment works must be carried out in accordance with best conservation guidelines and in line with the advice contained in the DoEHLG Advice Series 'Windows' booklet.

Method Statement For Repairs

Removal Of Sashes Methodology

Internal staff beads will be removed with hand tools. These will be disposed as its not possible preserve or retain these. New staff beads will be machined to match existing one's, when sashes are being re-fitted after refurbishment.

The weight pocket piece shall then be opened on both sides of frame. The sash cord will then be un-tied from the steel weight and discarded. The bottom sash will then be removed and lifted out manually. The top sash shall be moved towards the cill and temporarily fixed in position. The top sash will then act's as fall protection. Suitable timbers will be fixed in place as a fall protection measure and then the top sash will be removed. When top sash is re-fitted, fall protection is removed. This is in line with best health and safety practices.

All window frames will be left secured by osb board when sashes are brought back to factory.

Stripping of Old Paint Methodology:

The sash box frames shall have the paint stripped in situ, whereas the sashes will be stripped in Timeless's factory. First of all, we must make our operatives aware of the presence of lead in the paints in the building. Lead is primarily an inhalation hazard and will become an issue if the dust from the removal of the lead-based paint becomes airborne. Therefore, we must minimize or eliminate any dust being made while removing paint. We do this by using handheld scrapers and wet sandpaper. Any dust or debris that falls from the window while stripping paint must be cleaned up immediately using an industrial vacuum. The resulting debris shall be disposed of in accordance with the waste management act.

Using the handheld scraper, heat gun and wet sandpaper we remove all loose and defective paint from the frames and leave ready for splice repair process.

Splice Repair Process Methodology for frames on Site:

We will cut out rotten timber in frames while in situ by using a combination of hammer, chisel, hand saw also 110v reciprocating saw and 110v multimaster machine. Then we will fit new timber, similar in grain and density to those removed with glue, mortice and tenon joints or spliced in position and fixed using screws and a battery screw gun.



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SASH WINDOWS

The frame splice repair process is as follows:

1. Removal of decayed timber back to the sound timber.
2. New timber splice is cut to size leaving a gap of between 4mm to 8mm between the joints (depending on the repair) around the splice for the two part resin. Typically spliced joints were cut tight and were more susceptible to timber movement which then allowed moisture ingress. All timber used in our repairs is un-primed,
3. Moisture content of both the timber splice and the sash window timber member itself is checked ensuring a moisture content of below 18%.
4. Application of the 2 part wood resin to the repair area of the sash window will take place and also to the timber splice. This is normally left for between 25 to 30 minutes depending on weather conditions.
5. After the application of the window two part resin system to the timber splice and the sash window timber member the splice is held in place and the excess resin is removed. The repair is checked for alignment and the surface is checked for irregularities.
6. Once the sash window repair has cured, the repair and the surrounding areas are sanded and then we apply 1 coat of wood primer in preparation for paint.

After the splice repair process has taken place, we will then fit new brass bearing pulleys and attach new non stretch wax cotton cords to the existing weights or new weights will be fitted if double glazing is being introduced. The frames will then be decorated in situ with 3 No. coats of Teknos Joinery Coatings which is a water borne paint with a microporous protective film and will be lightly sanded between coats. The frames are then ready to receive refurbished sashes.

Teknos paint is specially designed for external and internal timber products.



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SASH WINDOWS

Repair Of Sashes Methodology:

When the sashes arrive back at Timeless, they are surveyed again for splice repair and broken glass. We remove the paint with a handheld scraper and wet sandpaper due to the likeliness of lead-based paint. The paint will not be removed from the glazing bars where historic glass is present this is due to glass being in situ and the likelihood of it getting scratched

The splice repair process is as follows:

1. Removal of decayed timber on sash back to the sound timber.
2. New timber splice is cut to size leaving a gap of between 4mm to 8mm between the joint (depending on the repair) around the splice for the two part resin. Typically spliced joints were cut tight and were more susceptible to timber movement which then allowed moisture ingress. All timber used in our repairs is un-primed,
3. Moisture content of both the timber splice and the sash timber member itself is checked ensuring a moisture content of below 18%.
4. Application of the 2 part wood resin to the repair area of the sash and also to the timber splice. This is normally left for between 25 to 30 minutes depending on weather conditions.
5. After application of the window two part resin system to the timber splice and the sash timber member. The splice is held in place and the excess resin is removed. The repair is checked for alignment and the surface is checked for irregularities.
6. Once the sash window repair has cured, the repair and the surrounding areas are sanded and then we apply 1 coat of wood primer in preparation for paint

Glass Replaced/Repaired

When the sashes have been stripped back and splice repairs carried out, we will then survey the condition of the glass.

Anywhere there is historic glass, this will be labelled. linseed putty is removed and discarded. Existing glass will be carefully removed and stored. The existing rebate is cleaned.



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Tel: 046 9023323

W: www.timelesssshindows.ie E: info@sash.ie



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SASH WINDOWS

If slimline double glazing is being introduced this only done where there is no historic glass present in the window. The Linseed oil putty is removed, the existing non historic glass is removed and discarded. The rebate in then cleaned and deepened if necessary as so it can receive the slimline double

Draught Sealing

Once the sashes have been spliced, they are now ready to be grooved for Timeless Draught Proofing System. This is done by running a single/double groove for the draught seal on the side of the sashes(this will depend on sash thickness) and a single groove on the top of the top sash and the bottom of the bottom sash and the meeting rail also.

Our draught seal system has been tested for air leakage. It achieved classification 4 which is the highest class you can receive. This tests not only the seals but the exact locations. We use Schlegel draught seals which are manufactured in Germany and conform to all the latest regulations. Schlegel seals are composite seal made of polyether/polyurethane foam core , with a polypropylene insert feature and a polyethene outer liner.

Photo Of Position Of Draught Seals



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Re-Glazing

The Sashes are now ready to be re-glazed.

Glass will be bedded in a low modulus clear silicone, where existing single glazing is being re-fitted this will be finished with a linseed oil putty. The putty will then be left to cure naturally.

If slimline double glazing is being fitted, again the glass will be bedded in a low modulus silicone, but will be finished with an acrylic putty. (the reason we don't use linseed oil putty with double glazing it will break the units down over time)/ this is also left to cure

Our sashes will then be ready to be finish painted. We cover the glass with protection paper and finish paint the sashes with 3 No Coats of Teknos Joinery Coatings of selected colour, lightly sanding between coats . When sashes are dried they are fitted with Schlegel draught seals into their groves which we previously machined. Glass is cleaned with Soudal cleaner and finally they will be bubble wrapped and left ready to return to site.

Re-Fitting Of Sashes

The sashes will be delivered back to site and unwrapped. The sash cord will be fished through the new pulley and tied on to the new or existing weight. The top sash will be fitted first into position and counterbalanced. Then a new parting bead shall be fitted

Then we will fit the bottom sash. Finally, the staff bead is pinned in position.

Then the new sash lifts, fastener and sash ring will be all be fitted.

At this stage the sashes will be checked that they are sliding smoothly and the draught seals are working correctly.

Finally, the windows will be touched with paint up by hand, filling the staff bead pin holes and joints and repairing any marks/snagging that needs to be done.



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SASH WINDOWS

New Sashes

New Sashes can be manufactured with an historic moulding agreed by the architect to match a certain moulding in the building We would propose to replace any of the modern sashes with square profile. We can agree exact window to match with the architect matching the moulding, meeting rail, sash stiles, bottom rail and horn detail.

The frame repair process is the same with this option.

We would propose to use slimline double glazing in these due to there currently no historic details/items in the current modern sashes.

House Keeping

Any debris or waste created by P & G Callaghan Windows shall be then cleared and removed from site by employees of P & G Callaghan Windows.

All work will be undertaken by qualified competent persons with experience of the type of work described above, and in all cases in full accordance with safety procedures specified in the company's health and safety statement.

Prepared By:	Date:
Pearse Callaghan	23/8/23



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