

Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Patricks Unity Ltd.,
c/o John Butt MRIAI,
c/o Brian O'Kennedy & Associates Engineers & Architects,
Shannon House,
Church Road,
Douglas,
Cork.

28/07/2022

RE: Section 5 Declaration R729/22 18/19 Douglas Street (An Cruiscin Lan), Cork

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 20th July 2022, I wish to advise as follows:

Having regard to:

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended), and
- Articles 6, and 9 of the Planning and Development Regulations 2001 (as amended),

the Planning Authority considers that the proposed

“Significant internal alterations and minor external alterations to facilitate the change of use of the former public house, An Cruiscin Lan, to residential use, namely 3 no. apartments. Associated works include the removal of an existing large lantern rooflight and other parts of a rear flat roof in order to form an internal open courtyard to improve natural light potential and provide communal amenity space”

IS DEVELOPMENT and IS NOT EXEMPTED DEVELOPMENT.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 28th July 2022.



We are Cork.



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Is mise le meas,

Kate Magner
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council



We are Cork.



Our Ref: 5185

Your Ref:

Date:

14th July 2022

Planning Department,
Cork City Council,
City Hall,
Anglesea Street
Cork.



Dear Sir / Madam,

Re: Section 5 Reference – 18/19 Douglas Street, Cork

Applicant: Patricks Unity Ltd
Merchants House
24 North Quay
Douglas
Isle of Man
IMI4LE

Agent: Brian O'Kennedy & Associates
Engineers + Architects
Shannon House
Church Road
Douglas

Correspondence to: Agent

Location of development: 18/19 Douglas Street, Cork

Nature of development: Change of use of former public house, An Cruscin Lan to residential use, namely; 3no. apartments.

1.0 Introduction

We make the following submission to the Cork City Council under the provisions of Section 5 of the Planning and Development Act 2000 (as amended). This submission is made on behalf of Patricks Unity Ltd, of Merchants House, 24 North Quay, Douglas, Isle of Man, IMI4LE, owners of the building.

Please note on the curtilage of the site is a Protected Structure, namely; 'Stone Archway to Former St. John's Market'. This structure is not proposed to be amended as part of the proposed works.

The submission is accompanied by cheque made payable to Cork City Council in the amount of €80.

2.0 Section 5 Reference

The reference relates to a question as to whether the change of use of the former public house is an exempted development, considering the external rear elevation alterations proposed and specifically the forming of a new internal open air courtyard in lieu of current public house space.

3.0 Conclusion & Case Made

In the main, our office is satisfied the proposal constitutes an exempted development in accordance with the amendments to the Planning and Development Regulations surround exempted developments introduced in 2022, specifically in relation to closed public houses, for the following reasons:

1. The public house being closed for over 5 years and the licence being sold.
2. The Department of Housing – Guidelines for Planning Authorities requirements have been substantially complied with in relation to floor areas. See enclosed Schedule of Floor Areas.
3. The design with the inclusion of open areas available to each apartment allows for a greater quality of private and communal amenity space than would typically be possible with existing buildings in the inner city.
4. We believe that the external alterations outlined in the drawings are minor and do not contribute to a disturbance to the overall aesthetic of the existing building.
5. Being an inner-city development location – we propose that car parking is not a requirement.
6. Ample bicycle parking is available in the entrance courtyards to Apartments 1&3, and within the large hallway to Apartment 2, or is available within the communal amenity space if required.
7. Secure gated Refuse Storage is located in a remote location through Blue Anchor Lane as is used by the existing residents in the building in the existing apartment over. See image in appendix of this cover letter.
8. There is an established residential use in the 2 upper floors over the existing bar which is currently managed by a management company and this is an arrangement that can continue for the new apartment additions.

We would like to make the case that the introduction of the open air internal courtyard even though is a significant alteration and alters the internal floor area of the existing building, that this alteration has a minor affect on the external appearance of the structure, particularly as the alterations would only be visible on the rear elevation from a private yard.

We are not proposing any works to the protected structure feature on the front elevation of the building. The steel gate within the protected structure is contemporary and is a robust secure galvanised steel double gate and will be changed to a more aesthetically pleasing and pedestrian manageable gate.

4.0 Enclosed Documents

- Complete Section 5 Declaration of Exemption Form (4no. Copies)
- PL-01 Existing Ground Floor Demolition Plan (4no. Copies)
- PL-02 Proposed Ground Floor Plan & Site Layout Plan (4no. Copies)
- PL-03 Existing and Proposed Section A-A (4no. Copies)
- PL-04 Existing Front Elevation (4no. Copies)
- PL-05 Existing and Proposed Side Elevation (4no. Copies)
- PL-06 Existing and Proposed Rear Elevation (4no. Copies)
- Schedule of Floor Areas (4no. Copies)
- Site Location Map (4no. Copies)
- Existing Structure Photographic Record (4no. Copies)
- Fee of €80 (Cheque)

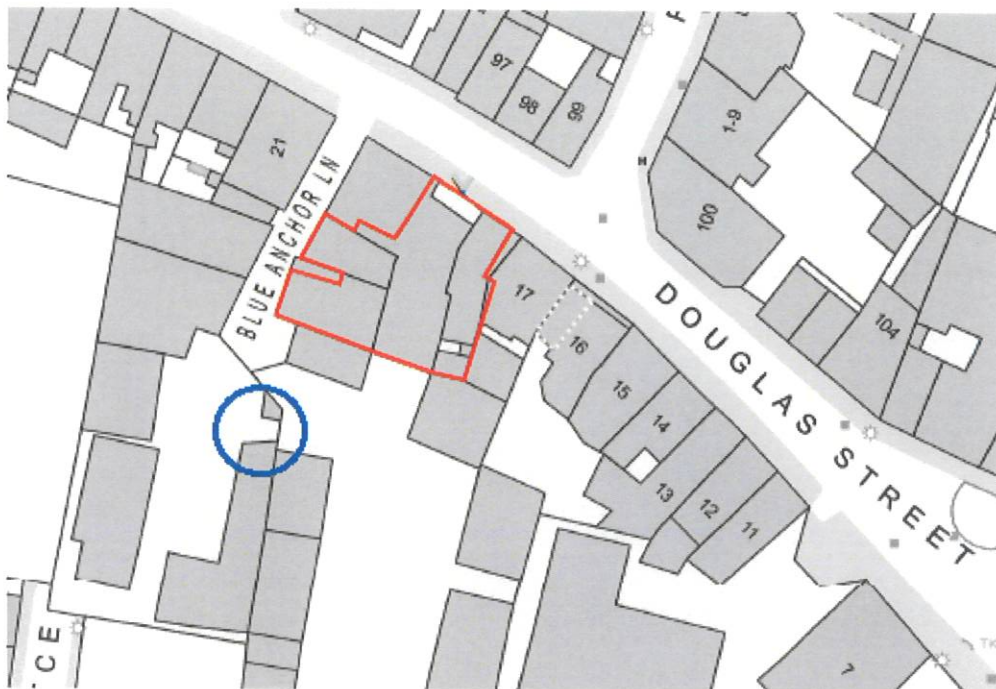
We trust everything is in order regarding this application, please don't hesitate to contact us with any queries.

Yours sincerely,



John Butt MRIAI
Director
Brian O'Kennedy & Associates Ltd

Appendix – Support Images



Site Location Map Extract

Note: Refuse Area Circled in Blue which is in the ownership of the applicant

COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie

Fón/Tel: 021-4924762

Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

18/19 Douglas Street Cork (Formerly an Cruscin Lan - Public House)

2. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:
Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Significant Internal alterations and minor external alterations to facilitate the change of use of the former public house, An Cruscin Lan to residential use, namely; 3no. apartments.
Associated works include the removal of an existing large lantern rooflight and other parts of a rear flat roof in order to form in internal open courtyard to improve natural light potential and provide communal amenity space

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:
(Use additional sheets if required).

The majority of the proposal complies with the amendments to the planning and development regulations in relation to change of use of a public house to residential. The question arises from the design intent to remove the existing lantern rooflight to the rear and part of a single storey flat roof, to create an internal courtyard/communal amenity space and allow natural light into a building, currently with limited access to natural light.
The amended planning and development regulations allow for minor elevational alterations particularly if the amendments do not alter the overall aesthetic or qualities of the building. We believe this to be the case however we seek clarity in relation to the alterations to the rear of the building and confirmation from the planning authority that all the proposed works are an exempted development.

3. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

No

4. Is this a Protected Structure or within the curtilage of a Protected Structure?

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority?

Email correspondence with the Cork City Council Conservation Officer

5. Was there previous relevant planning application/s on this site?

If so please supply details:

PL Refs: 20/39245, 20/39246, 20/39247, 20/39248. All Received 20-04-2020

6. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	306sqm
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle) Public House ----- -----	Proposed/existing use (please circle) Residential - 3no. Apartments ----- -----

8. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

9. I / We confirm that the information contained in the application is true and accurate:

Signature: 

Date: 28-06-2022

CONTACT DETAILS

10. Applicant:

Name(s)	Patricks Unity Ltd
Address	Mechants House, 24 North Quay, Douglas, Isle of Man. IM14LE ----- ----- -----

11. Person/Agent acting on behalf of the Applicant (if any):

Name(s):	John Butt MRIA	
Address:	c/o Brian O' Kennedy & Associates Engineers + Architects ----- Shannon House, Church Road, Douglas, Cork ----- -----	
Telephone:	[REDACTED]	
E-mail address:	[REDACTED]	
Should all correspondence be sent to the above address? <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

ADVISORY NOTES:

<p>The application must be accompanied by the required fee of €80</p> <p>The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.</p> <p>Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.</p> <p><i>The application should be sent to the following address:</i></p> <p style="text-align: center;">The Development Management Section, Community, Culture & Placemaking Directorate, Cork City Council, City Hall, Anglesea Street, Cork.</p>
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- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION: The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.



SCHEDULE OF APARTMENT FLOOR AREAS

Re; Section 5 Declaration for works to the ground floor of an existing building (Formerly An Crussin Lan), to facilitate the Change of Use of the areas in question to residential, namely; 3no. Ground Floor Apartments.

At
18/19 Douglas Street, Cork City

	Total Apartment Area	Kitchen/ Dining/ Living Areas	Bedroom 1	Bedroom 2	Aggregate Bedroom Area	Storage	Private Amenity Space	Communal Amenity Space
SUH:DSNA Minumum Areas SQM	1 Bed - 45 2 Bed - 63 / 73	1 Bed - 23 2 Bed - 28/30	Single - 7.1 Double - 11.4	Single - 7.1 Double - 11.4	1 Bed - 11.4 2 Bed - 20.1	1 Bed - 3 2 Bed - 5 or 6	1 Bed - 5 2 Bed - 6 or 7	1 Bed - 5 2 Bed - 6 or 7
Apartment 1 1-Bedroom	67	44	12.2	N/A	N/A	3	10	32
Apartment 2 1-Bedroom	78	31.9	12.7	N/A	N/A	5.7	10.7	32
Apartment 3 2-Bedroom 3 persons	87	31.6	15.3	13.7	14.5	2.5	N/A	32

Planning Pack Map



CENTRE COORDINATES:
ITM 567709,571308

PUBLISHED: 17/10/2019
ORDER NO.: 50089702_1

MAP SERIES: 1:1,000
MAP SHEETS: 6382-15, 6382-20

Site Outlined in **RED**

COMPILED AND PUBLISHED BY:
Ordnance Survey Ireland,
Phoenix Park,
Dublin 8,
Ireland.

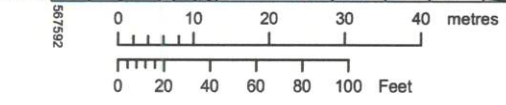
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OUTPUT SCALE: 1:1,000

CAPTURE RESOLUTION:
The map objects are only accurate to the resolution at which they were captured. Output scale is not indicative of data capture scale. Further information is available at: <http://www.osi.ie>; search 'Capture Resolution'



LEGEND:
<http://www.osi.ie>;
search 'Large Scale Legend'



**BRIAN O KENNEDY
& ASSOCIATES LTD**
Consulting Engineers

Shannon House,
Church Road,
Douglas,
Cork.

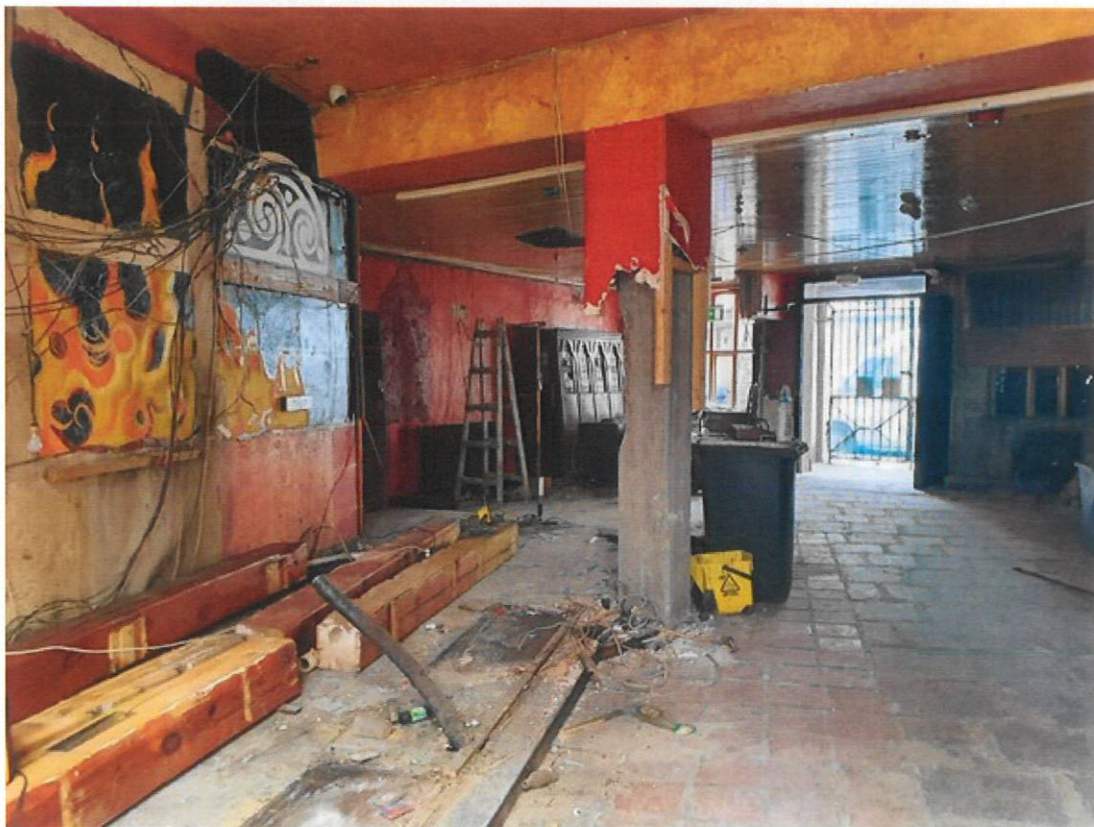
Tel: 021-4899854
Fax: 021-4899864
Email: info@bok.ie
Web: www.bok.ie

Proposed Change of use of former public house 'An Crúscin Lán' to residential use.

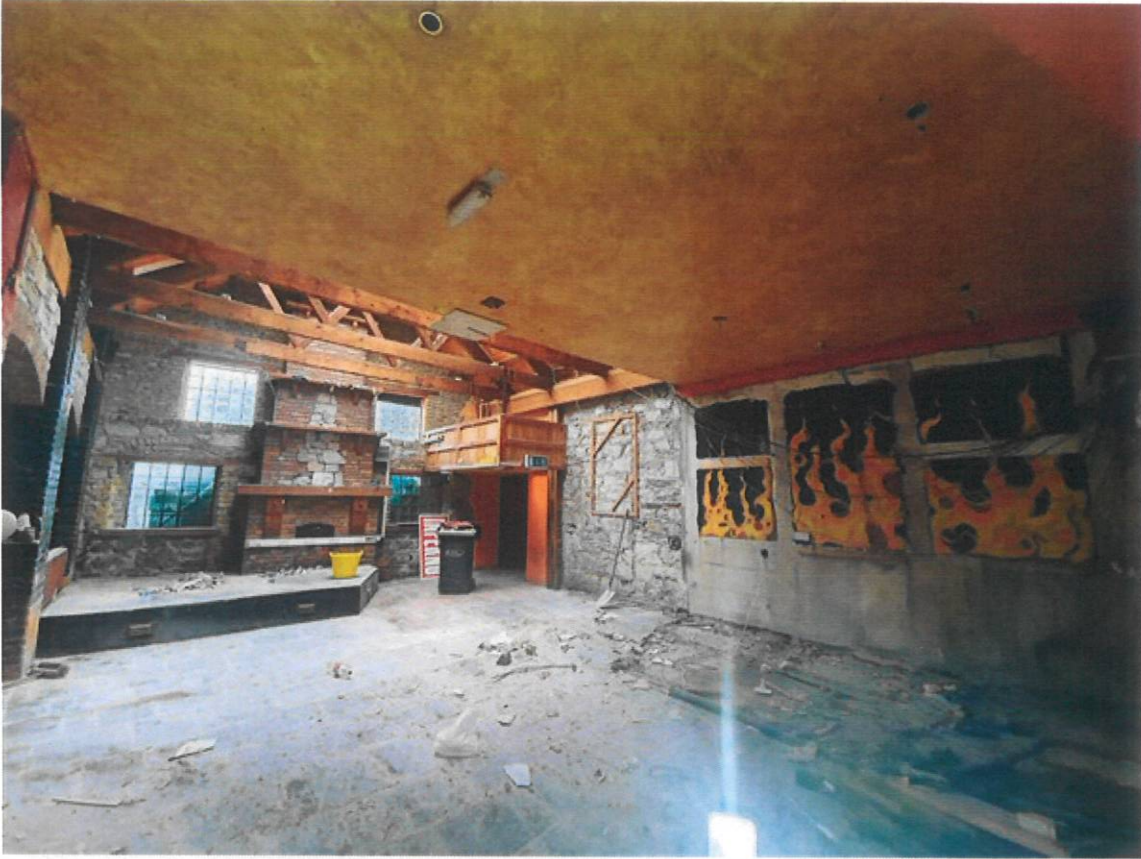
Existing Structure Photographic Record



Existing Front View of Bar Entrance including Protected Structure 'Stone Archway to Former St. John's Market'



Existing internal image within former bar – view out to Douglas Street (gate visible)



Internal image – view to rear elevation – location of proposed open internal courtyard



Image within yard along side elevation to be proposed as entrance courtyard to Apartment 3



Roof image showing lantern rooflight to be removed to form open internal courtyard



Image from private yard to rear of Blue Anchor Lane of rear elevation of structure



Image of existing bar door



Image of existing window to side of bar door from inside Douglas Street gateway



**Image of rear elevation from private yard –
note glass block windows as shown on rear elevation drawings**

PLANNING LEGEND

PROPOSED RESIDENTIAL HATCHED IN YELLOW



PROPOSED OPENING ALTERATIONS
OUTLINED IN GREEN



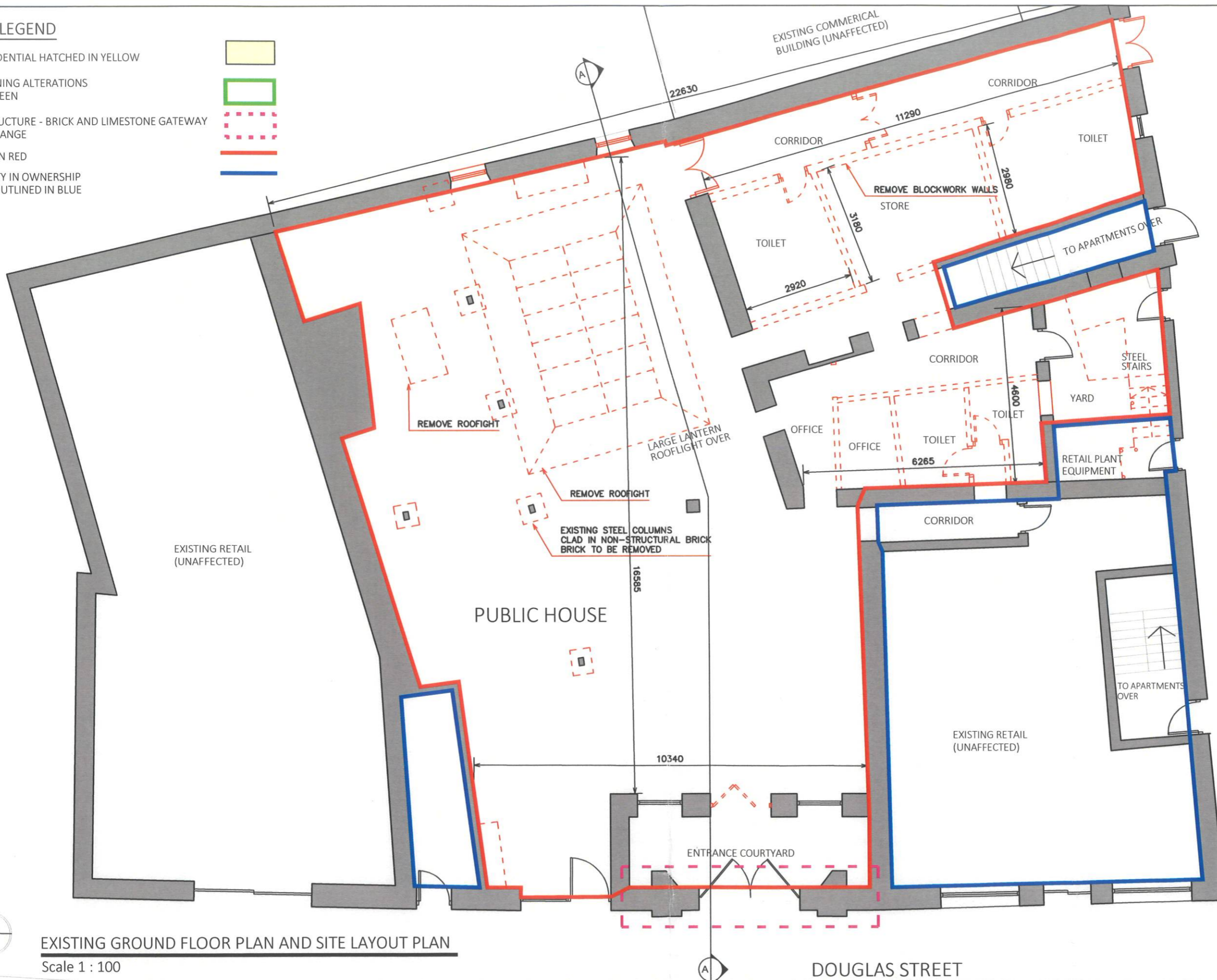
PROTECTED STRUCTURE - BRICK AND LIMESTONE GATEWAY
OUTLINED IN ORANGE



SITE OUTLINED IN RED



OTHER PROPERTY IN OWNERSHIP
OF APPLICANT OUTLINED IN BLUE



EXISTING GROUND FLOOR PLAN AND SITE LAYOUT PLAN

Scale 1 : 100



- Notes:**
1. This drawing is for discussion purposes only. - If in doubt ask.
 2. Do not scale, figured dimensions only to be taken.
 3. Engineer to be informed of any discrepancies before work proceeds.
 4. Contractor to check all dimensions and conditions on site before commencing works.
 5. Drawing to be read in conjunction with current Building Regulations.
 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING DRAWING

BRIAN O KENNEDY & ASSOCIATES LTD
Engineers+Architects

Shannon House,
Church Road,
Douglas,
Co.Cork

Tel: 021-4899854
Fax: 021-4899464
Email: info@bok.ie
Web: www.bok.ie

Client:
PATRICKS UNITY LTD

Project:
CHANGE OF USE FROM PUBLIC HOUSE TO RESIDENTIAL,
NO. 18/ 19 DOUGLAS STREET
CORK

Drawing Title:
EXISTING GROUND FLOOR PLAN -DEMOLITION
EXISTING SITE LAYOUT FLOOR PLAN

Scale: 1:100 @A3	Date: 15-07-2022	Revision A
Drawn By: JB	Checked By: JB	Drawing Number: PL-01

SCOPE OF WORKS

DEMOLITION (GROUND FLOOR AREAS)
 CARRY OUT STRUCTURAL DEMOLITIONS AS IDENTIFIED
 REMOVE EXISTING GROUND FLOOR THROUGHOUT TO FORMATION LEVEL FOR NEW FLOOR.
 IDENTIFY AND EXPOSE EXISTING DRAINAGE, CARRY OUT CAT SCAN TO FULLY IDENTIFY DRAINAGE ROUTES, WATER SUPPLY ROUTES, ELECTRICAL MAINS CABLE ROUTES.
 DECOMMISSION AND REMOVE EXISTING SERVICES.
 DEMOLISH EXISTING LANTERN ROOFLIGHTS AND SUPPORT REMAINING ROOFS AS REQUIRED.
 DEMOLISH EXISTING REAR GABLE WALL TO 2.4M HIGH.
 DEMOLISH STEEL STAIRS IN SMALL YARD ACCESSED FROM BLUE ANCHOR LANE AND PREP FOR YARD CONVERSION TO ENTRANCE ROUTE TO NEW APARTMENT.

CONSTRUCTION

CONVERT GROUND FLOOR AREAS TO 3NO APARTMENT DWELLINGS.
 FORM NEW OUTDOOR COURTYARD TO PROVIDE NATURAL LIGHT AND BACKGROUND VENTILATION TO NEW DWELLING SPACES.
 PROVIDE NEW GOALPOST FRAME TYPE STEEL STRUCTURE IN LOCATION IDENTIFIED ON PROPOSED PLAN IN REPLACEMENT FOR DEMOLISHED MASONRY CURRENTLY PROVIDING SUPPORT FOR CROSS JOISTS OVER.
 NEW EXTERNAL WALLS IN STANDARD TWIN LEAF MASONRY
 NEW INTERNAL PARTY WALLS BETWEEN APARTMENTS IN LIGHTWEIGHT STUD 1HR FIRE RATED AND SOUND RATED TO PART E REQUIREMENTS.
 NEW INTERNAL APARTMENT PARTITIONS IN LIGHTWEIGHT STUD WITH TYPICAL PLASTERBOARD AND ACOUSTIC ROLL INSULATION.
 PROVIDE NEW GROUND FLOORS THROUGHOUT - HARDCORE, BLINDING, RADON, THERMAFLOOR & SLAB
 PROVIDE NEW CEILINGS - FIRE RATING UNDER EXISTING CEILING, SERVICE VOID AND STANDARD PLASTERBOARD.
 ALLOW FOR INSULATING EXISTING EXTERNAL WALLS WITH ISOVER OPTIMO SYSTEM, AND ALLOW FOR ASSOCIATED VENTING TO OUTSIDE.
 ALLOW FOR EXTENDING EXISTING FLAT ROOF WHERE ROOFLIGHT IS REMOVED OUT TO NEW EXTERNAL COURTYARD WALL WITH PARAPET WALL DETAIL TO FINISH ROOF.
 ALLOW FOR INSULATION AND MAKING GOOD WHERE OLD AND NEW ROOFS MEET AND NEW DRAINAGE OUTLETS AS REQUIRED.

ALLOW FOR STANDARD INTERNAL FIT-OUT JOINERY.
 INTERNAL DOORS TO BE TYPICAL SHAKER TYPE, NO INTERNAL FIRE RATED DOORS ARE REQUIRED AS APARTMENTS HAVE OWN DOOR ENTRANCE.
 ALLOW FOR STANDARD 'TRADE TYPE' KITCHENS AND WARDROBES.
 ALLOW FOR STANDARD 'TRADE TYPE' SANITARY WARE.
 SHOWERS AS WETROOM.

ALLOW CONTINGENCY FOR POTENTIAL BUILDING DECAY REPAIRS/REPLACEMENT.
 ALLOW FOR NEW GROUND FLOOR DRAINAGE SYSTEM CONNECTED TO EXISTING FOUL SEWERS.

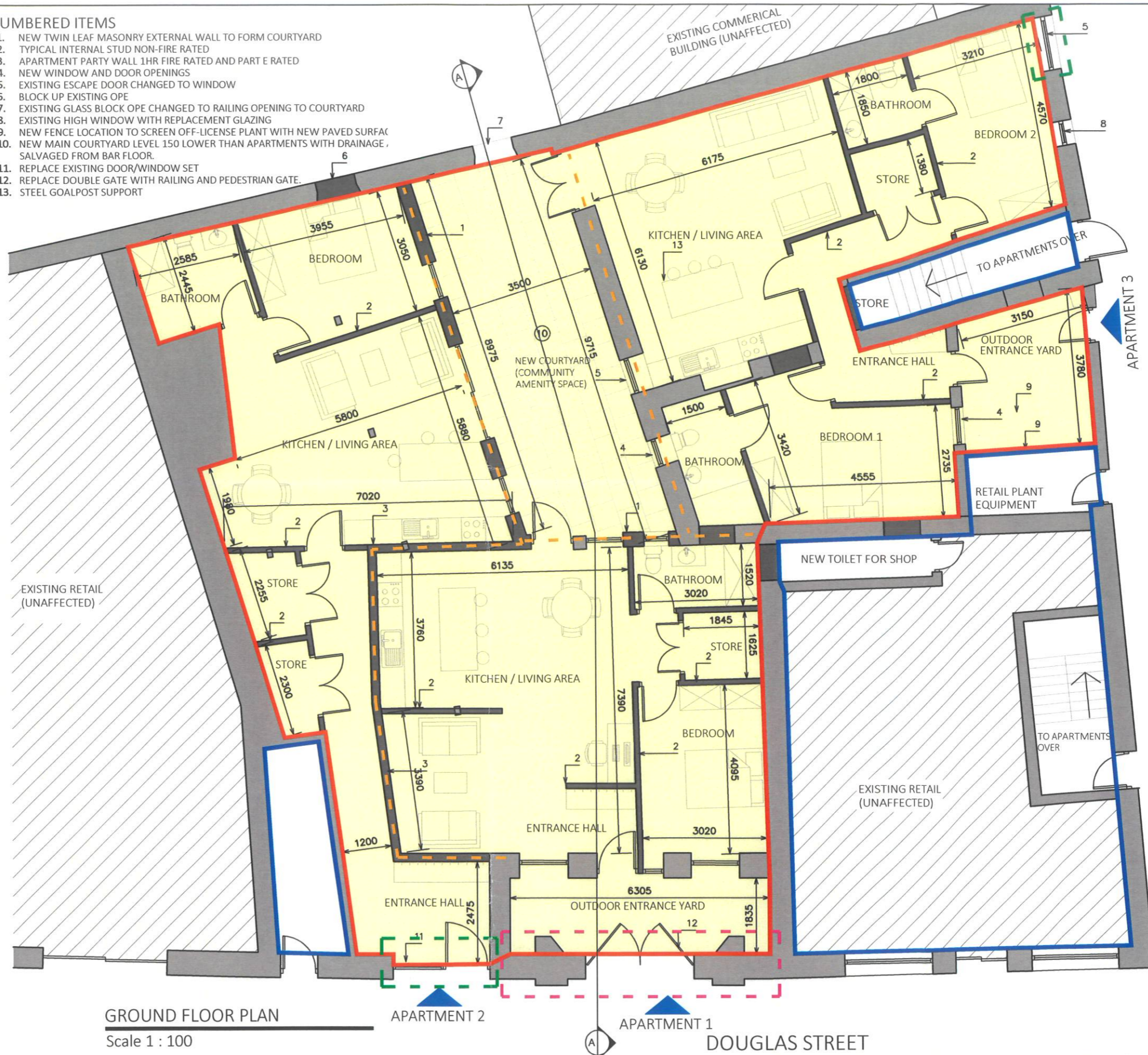
PROVIDE NEW OR AMENDED WINDOW AND DOOR OPENINGS ON EXTERNAL FACE AS IDENTIFIED ON PLANS.
 NEW EXTERNAL WINDOWS IN PVC FRAME.
 REPLACE EXISTING ROLLER SHUTTER DOOR AND SIDE WINDOW ON DOUGLAS STREET ELEVATION WITH NEW EXTERNAL DOOR AND WINDOW SET.
 REPLACE EXISTING BAR BI-FOLD ENTRANCE DOOR WITH NEW SINGLE ENTRANCE DOOR AND VERTICAL GLAZED SIDE PANEL.
 NEW EXTERNAL DOORS IN COMPOSITE.
 PROVIDE NEW TIMBER FENCE IN FRONT OF EXISTING OFF-LICENCE COOLING PLANT IN SMALL YARD ACCESSED FROM BLUE ANCHOR LANE.
 NEW PAVING SURFACE TO THIS YARD TO IMPROVE YARD TO ENTRANCE COURTYARD. NOTE: EXISTING SALVAGED FLAGSTONES TO BE USED FOR NEW PAVING.
 REPLACE DOUGLAS STREET GATE WITH NEW FIXED RAILING AND SINGLE PEDESTRIAN GATE AND KEY PAD MAG-LOCK.
 ALLOW PROVISIONAL FIGURE FOR RESTORATION WORK TO THE GATE COLUMNS AND ARCH WHICH IS A PROTECTED STRUCTURE. I.E. BRICK POINTING AND GENERAL SOFT WIRE BRUSH CLEANING.

MECHANICAL & ELECTRICAL
 ALLOW FOR STANDARD ELECTRICAL FIT-OUT AND ALARM SYSTEM.
 ALLOW FOR HEAT PUMP RENEWABLE HEATING TO EACH APARTMENT.
 RADIATOR HEATING.
 PRESSURIZED SYSTEM.

ALLOW ALTERNATIVE FIGURE TO RETAIN EXISTING FLOORS AND RAISE NEW TIMBER FLOOR IN EACH APARTMENT.

NUMBERED ITEMS

1. NEW TWIN LEAF MASONRY EXTERNAL WALL TO FORM COURTYARD
2. TYPICAL INTERNAL STUD NON-FIRE RATED
3. APARTMENT PARTY WALL 1HR FIRE RATED AND PART E RATED
4. NEW WINDOW AND DOOR OPENINGS
5. EXISTING ESCAPE DOOR CHANGED TO WINDOW
6. BLOCK UP EXISTING OPE
7. EXISTING GLASS BLOCK OPE CHANGED TO RAILING OPENING TO COURTYARD
8. EXISTING HIGH WINDOW WITH REPLACEMENT GLAZING
9. NEW FENCE LOCATION TO SCREEN OFF-LICENCE PLANT WITH NEW PAVED SURFACE
10. NEW MAIN COURTYARD LEVEL 150 LOWER THAN APARTMENTS WITH DRAINAGE, SALVAGED FROM BAR FLOOR.
11. REPLACE EXISTING DOOR/WINDOW SET
12. REPLACE DOUBLE GATE WITH RAILING AND PEDESTRIAN GATE.
13. STEEL GOALPOST SUPPORT



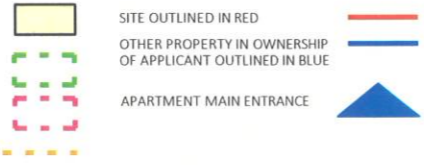
GROUND FLOOR PLAN

Scale 1 : 100

- Notes:**
1. This drawing is for discussion purposes only. - If in doubt ask.
 2. Do not scale, figured dimensions only to be taken.
 3. Engineer to be informed of any discrepancies before work proceeds.
 4. Contractor to check all dimensions and conditions on site before commencing works.
 5. Drawing to be read in conjunction with current Building Regulations.
 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING LEGEND

- PROPOSED RESIDENTIAL HATCHED IN YELLOW
- PROPOSED OPENING ALTERATIONS OUTLINED IN GREEN
- PROTECTED STRUCTURE - BRICK AND LIMESTONE GATEWAY OUTLINED IN ORANGE
- SEPARATION BETWEEN APARTMENTS

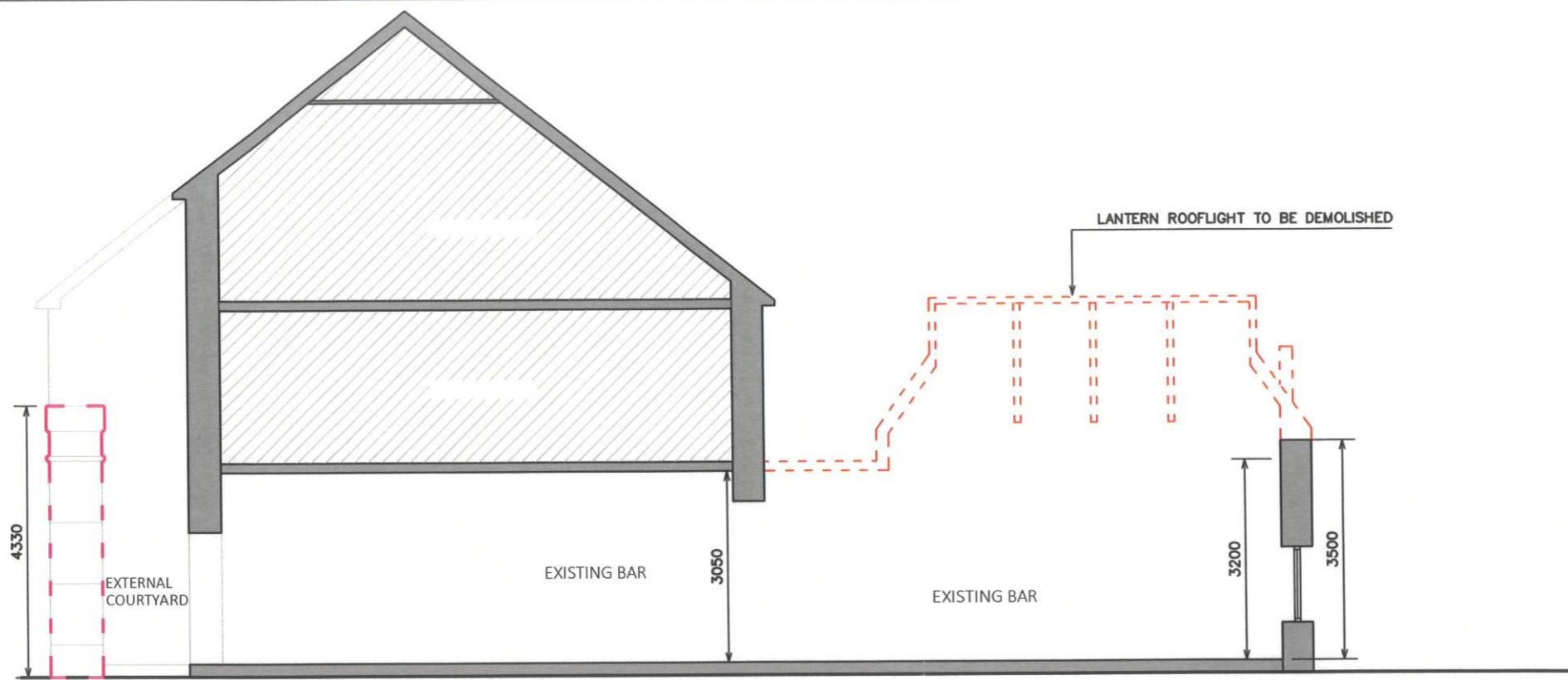


PLANNING DRAWING

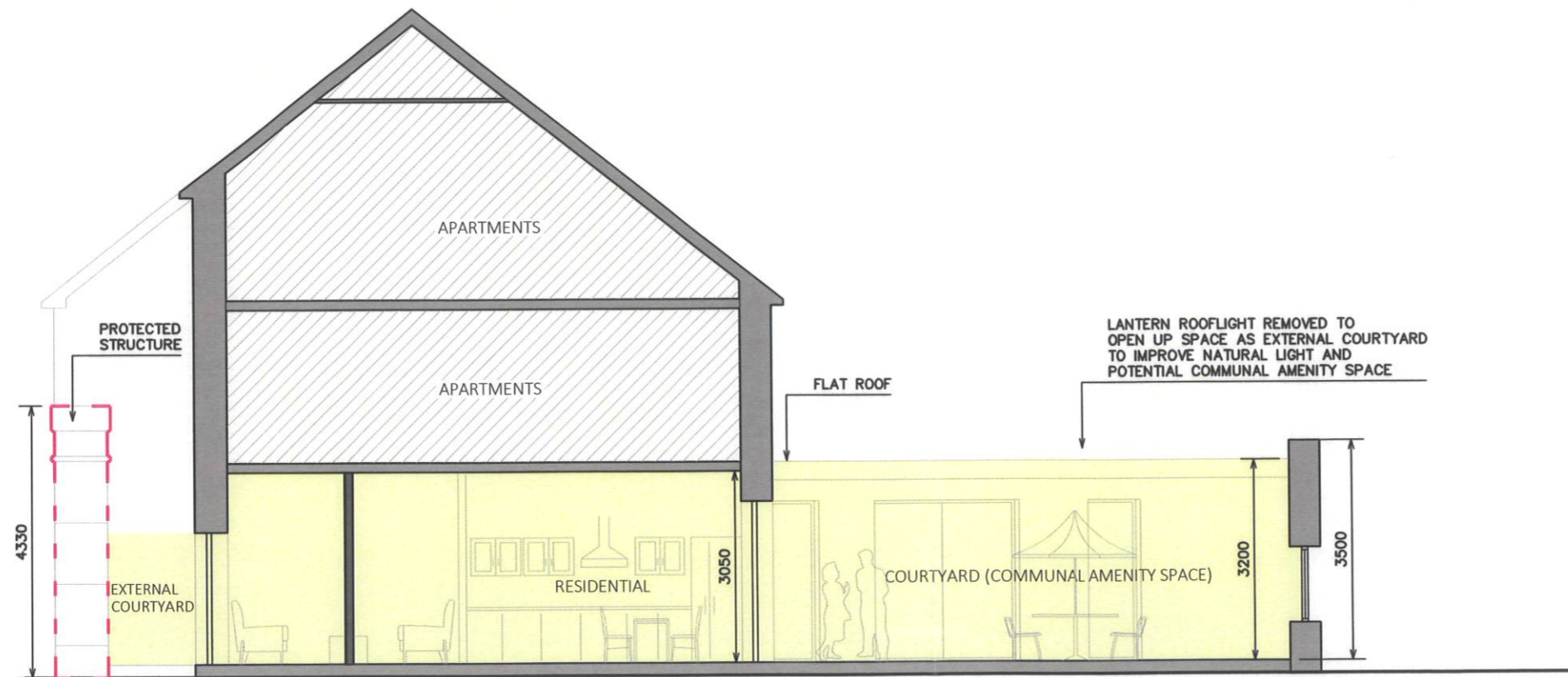
BRIAN O KENNEDY & ASSOCIATES LTD
 Engineers+Architects
 Shannon House, Church Road, Douglas, Co.Cork
 Tel: 021-4899854
 Fax: 021-4899464
 Email: info@bok.ie
 Web: www.bok.ie

Client: PATRICKS UNITY LTD
 Project: CHANGE OF USE FROM PUBLIC HOUSE TO RESIDENTIAL, NO. 18/ 19 DOUGLAS STREET CORK

Drawing Title: PROPOSED GROUND FLOOR PLAN PROPOSED SITE LAYOUT PLAN		Revision
Scale: 1:100 @A3	Date: 15-07-2022	Revision A
Drawn By: JB	Checked By: JB	Drawing Number: PL-02



EXISTING SECTION A-A
Scale 1 : 100



PROPOSED SECTION A-A
Scale 1 : 100

- Notes:
1. This drawing is for discussion purposes only. - If in doubt ask.
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 5. Drawing to be read in conjunction with current Building Regulations.
 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING LEGEND

CHANGE OF USE AREA HIGHLIGHTED IN YELLOW



PROTECTED STRUCTURE OUTLINED IN MAGENTA



PLANNING DRAWING

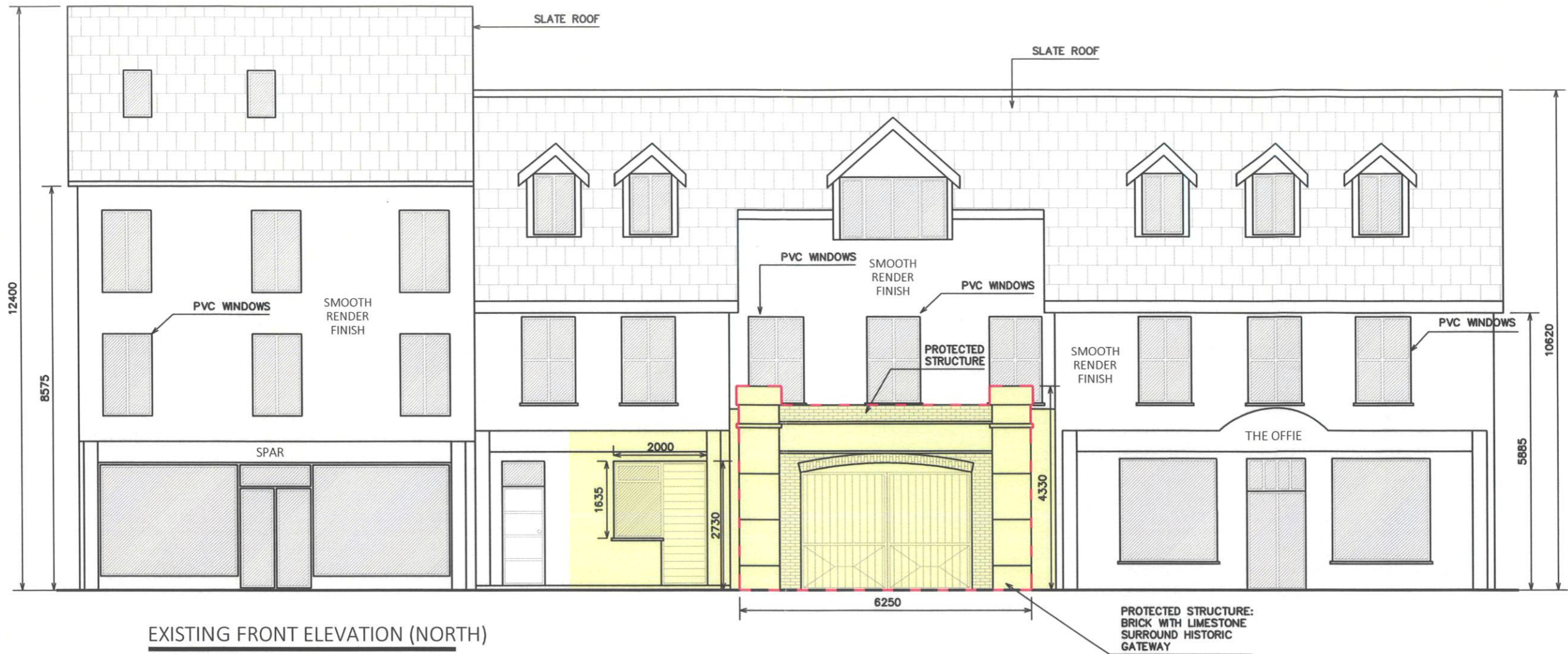
BRIAN O KENNEDY & ASSOCIATES LTD
Engineers+Architects

Shannon House,
Church Road,
Douglas,
Co.Cork

Tel: 021-4899854
Fax: 021-4899464
Email: info@bok.ie
Web: www.bok.ie

Client:	MICHAEL KENNEFICK		
Project:	PROPOSED CHANGE OF USE FROM PUBLIC HOUSE TO RETAIL TO GROUND FLOOR, NO. 18/ 19 DOUGLAS STREET CORK		
Scale:	1:100 @A3	Date:	15-07-2022
Drawn By:	JB	Checked By:	JB
Drawing Number:	PL-03		

Drawing Title: EXISTING AND PROPOSED SECTION A-A			
Scale:	1:100 @A3	Date:	15-07-2022
Drawn By:	JB	Checked By:	JB
Drawing Number:	PL-03		
Engineers Ireland	RIAI	2019	63



EXISTING FRONT ELEVATION (NORTH)
Scale 1 : 100

NOTE: THERE ARE NO PROPOSED ALTERATIONS TO THE EXISTING FRONT ELEVATION

PLANNING DRAWING

- Notes:
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 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING LEGEND

CHANGE OF USE AREA HIGHLIGHTED IN YELLOW



ELEVATIONAL CHANGES



BRIAN O KENNEDY & ASSOCIATES LTD
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Client:
PATRICKS UNITY LTD

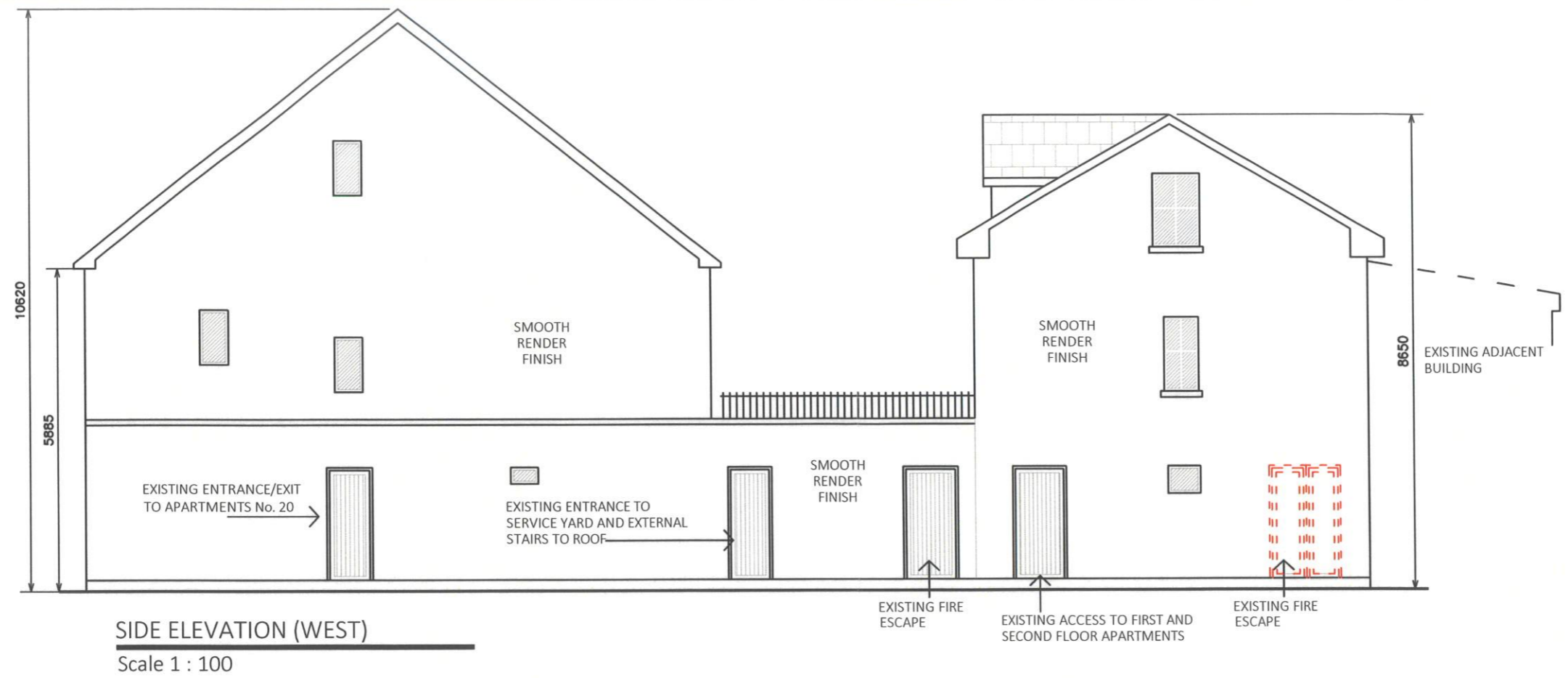
Project:
CHANGE OF USE FROM PUBLIC HOUSE TO RESIDENTIAL,
NO. 18/ 19 DOUGLAS STREET
CORK

Drawing Title:
EXISTING FRONT ELEVATION

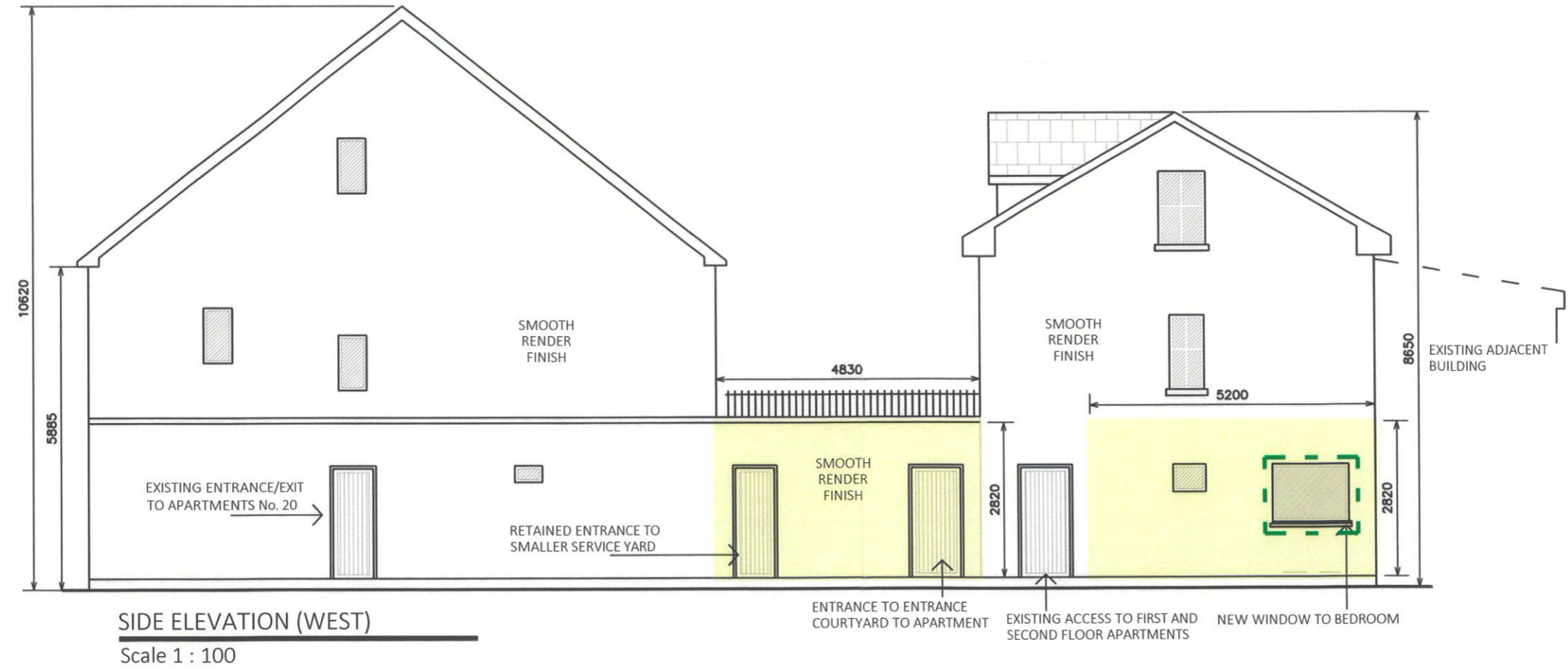
Scale: 1:100 @A3	Date: 15-07-2022	Revision
Drawn By: JB	Checked By: JB	Drawing Number: PL-04
		A

ENGINEERS IRELAND RIAI

Registered Professional Engineer
2018 03 P



SIDE ELEVATION (WEST)
Scale 1 : 100



SIDE ELEVATION (WEST)
Scale 1 : 100

Notes:
 1. This drawing is for discussion purposes only. - If in doubt ask.
 2. Do not scale, figured dimensions only to be taken.
 3. Engineer to be informed of any discrepancies before work proceeds.
 4. Contractor to check all dimensions and conditions on site before commencing works.
 5. Drawing to be read in conjunction with current Building Regulations.
 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING LEGEND

CHANGE OF USE AREA HIGHLIGHTED IN YELLOW 

ELEVATIONAL CHANGES 

PLANNING DRAWING






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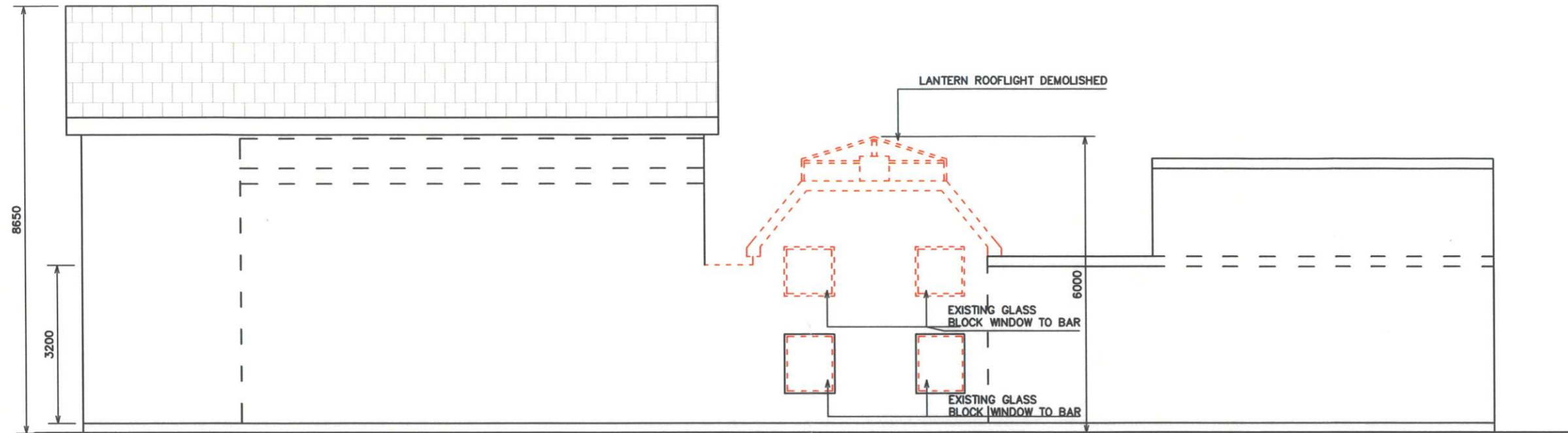
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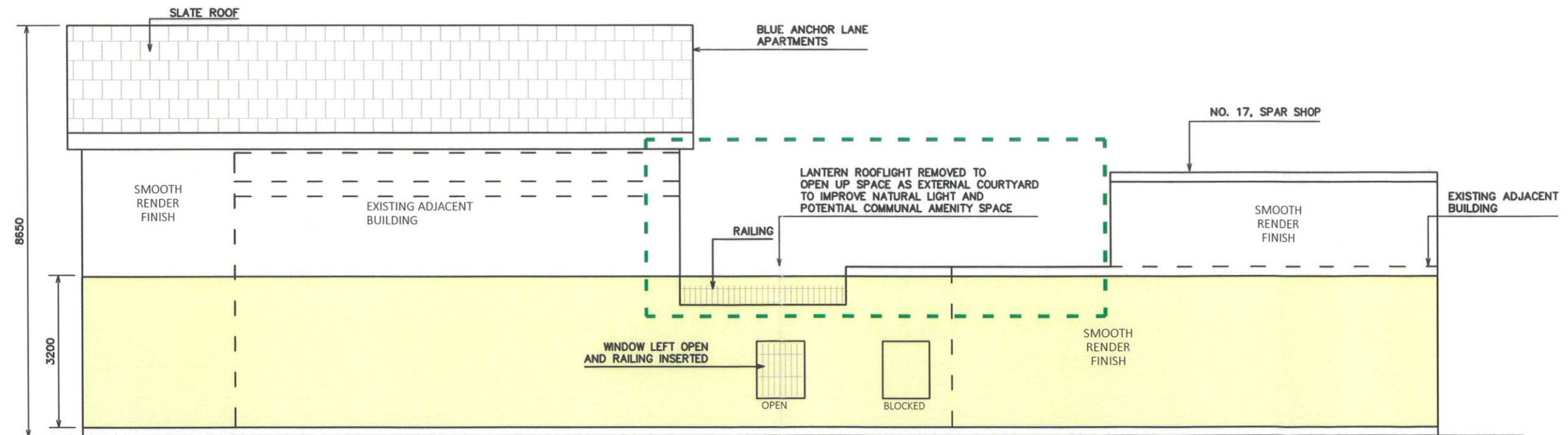
Client: MICHAEL KENNEFICK

Project: PROPOSED CHANGE OF USE FROM PUBLIC HOUSE TO MEDICAL TO GROUND FLOOR, NO. 18/ 19 DOUGLAS STREET CORK

Drawing Title: EXISTING AND PROPOSED WEST ELEVATION		Scale: 1:100 @A3	Date: 15-07-2022	Revision A
Drawn By: JB	Checked By: JB	Drawing Number: PL-05		
 		 2019  03  P		



EXISTING REAR ELEVATION (SOUTH)
Scale 1 : 100



PROPOSED REAR ELEVATION (SOUTH)
Scale 1 : 100

PLANNING DRAWING

- Notes:**
1. This drawing is for discussion purposes only. - if in doubt ask.
 2. Do not scale, figured dimensions only to be taken.
 3. Engineer to be informed of any discrepancies before work proceeds.
 4. Contractor to check all dimensions and conditions on site before commencing works.
 5. Drawing to be read in conjunction with current Building Regulations.
 6. All components and materials to be installed fully in accordance with manufacturers instructions.

PLANNING LEGEND

- CHANGE OF USE AREA HIGHLIGHTED IN YELLOW
- ELEVATIONAL CHANGES
- PROTECTED STRUCTURE OUTLINED IN MAGENTA

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Client: PATRICKS UNITY LTD
Project: CHANGE OF USE FROM PUBLIC HOUSE TO RESIDENTIAL, NO. 18/ 19 DOUGLAS STREET CORK

Drawing Title: EXISTING AND PROPOSED REAR ELEVATION		
Scale: 1:100 @A3	Date: 15-07-2022	Revision: A
Drawn By: JB	Checked By: JB	Drawing Number: PL-06