

**COMHAIRLE CATHRACH CHORCAÍ  
CORK CITY COUNCIL**

Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.



R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)  
Fón/Tel: 021-4924762  
Líonra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

4 Rossbrook Model Farm Rd, Cork

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

is the construction of a proposed winter garden area at the rear of the house with a retractable roof exempted development

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**

(Use additional sheets if required).

Please see attached separate letter

3. Are you aware of any enforcement proceedings connected to this site?  
 If so please supply details: N.A.

4. Is this a Protected Structure or within the curtilage of a Protected Structure?  No

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority?

5. Was there previous relevant planning application/s on this site?   
 If so please supply details: 20/39313 + R 6/4/20

**6. APPLICATION DETAILS**

*Please see attached separate cover letter*

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle) _____ _____ _____	Proposed/existing use (please circle) _____ _____ _____

**8. LEGAL INTEREST**

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

9. I / We confirm that the information contained in the application is true and accurate:

Signature: *N. Sheehan*

Date: 23/2/21

## CONTACT DETAILS

### 10. Applicant:

<b>Name(s)</b>	Noel Sheridan
<b>Address</b>	4 Rossbrook ----- Model Farm Rd ----- Cork -----

### 11. Person/Agent acting on behalf of the Applicant (if any):

<b>Name(s):</b>	as above
<b>Address:</b>	----- ----- -----
<b>Telephone:</b>	[REDACTED]
<b>E-mail address:</b>	[REDACTED]
<b>Should all correspondence be sent to the above address?</b> <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

### 12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

#### ADVISORY NOTES:

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

*The application should be sent to the following address:*

**The Development Management Section, Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.**

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION:** The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.



PLANNER'S REPORT  
Ref. R 640/21

Cork City Council  
Development  
Management  
Strategic Planning  
and Economic  
Development

Application type      **SECTION 5 DECLARATION**  
Question              *Whether the construction of:*

*a proposed winter garden area to the rear of the house with a retractable roof  
is development and if so is or is not exempted development.*

Location              *4 Rossbrook, Model Farm Road.*  
Applicant             Noel Sheridan

### 1. REQUIREMENTS FOR A SECTION 5 DECLARATION APPLICATION

Section 5(1) of the Planning and Development Act 2000 as amended states:

*5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.*

The requirements for making a section 5 declaration are set out in the Act.

### 2. THE QUESTION BEFORE THE PLANNING AUTHORITY

The question to the Planning Authority is

*'Whether the construction of a proposed winter garden area to the rear of the house with a retractable roof is development and if so is or is not exempted development.'*

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### 3. SITE DESCRIPTION

The subject property comprises a two-storey detached dwelling house in 'Rossbrook'— a large housing development located off the Model Farm Road.

### 4. PLANNING HISTORY

#### ***Rossbrook Housing Estate***

T.P. 12082/84:              Outline permission granted for the erection of houses at Cloverfield, Model Farm Road.

T.P.13908/87:              Permission granted for the development of a housing estate at Cloverfield, Model Farm Road.

T.P. 14678/88: Permission granted for a change of house type of permitted units and an extension of the housing area into lands to the rear of Melbourne Business Park (additional units).

**No 4 Rossbrook:**

T.P. 14807/89: Permission granted for a change of house type on site – no conditions attached.

T.P. 20/39313: Permission recently granted for the construction of a dormer window to front of property.

R614/20 Section 5 submitted in 2020.

## 5. CURRENT LEGISLATIVE PROVISIONS

### 5.1 Planning and Development Act, 2000 as amended

*Section 2(1),*

*“exempted development” has the meaning specified in section 4.*

*“structure” means any building, structure, excavation, or other thing constructed or made on, in or under land, or any part of a structure so defined, and –*

*(a) Where the context so admits, includes the land on, in or under which the structure is situate,”*

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

*Section 3(1),*

*In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.*

*Section 4(2),*

~~*Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001, as amended.*~~

*Section 4(3),*

*A reference in this Act to exempted development shall be construed as a reference to development which is—*

*(a) any of the developments specified in subsection (1), or*

*(b) development which, having regard to any regulations under subsection (2), is exempted development for the purposes of this Act.*

### 5.2 Planning and Development Regulations, 2001 as amended

*Article 6(1),*

*Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.*

Article 9,

Article 9 sets out restrictions on exemptions specified under article 6. Article 9(1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development, including (a) if the carrying out of such development would:-

(i) “Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act”...

Schedule 2, Part 1, Class 1

Classes 1-8 relate to development within the curtilage of a house and Class 1 relates to “the extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house”.

Schedule 2, Part 1, Class 1

Exempted Development – General

Column 1 Description of Development	Column 2 Conditions and Limitations
<p>Development within the curtilage of a house</p> <p><b>CLASS 1</b> The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.</p>	<p>1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.</p>
	<p>2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 40 square metres.</p> <p>(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.</p> <p>(c) Subject to paragraph (a), where the house is detached and has been extended previously,</p>

Column 1 Description of Development	Column 2 Conditions and Limitations
	<p><i>the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres.</i></p> <p>3. <i>Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.</i></p> <p>4. (a) <i>Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.</i></p> <p>(b) <i>Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.</i></p> <p>(c) <i>The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.</i></p> <p>5. <i>The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.</i></p>
	<p>6. (a) <i>Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.</i></p> <p>(b) <i>Any window proposed above ground level in any such extension shall not be less than 11 metres from the boundary it faces.</i></p> <p>(c) <i>Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 11 metres from the boundary it faces.</i></p> <p>7. <i>The roof of any extension shall not be used as a balcony or roof garden.</i></p>



## 6. ASSESSMENT

### 6.1 *Development*

The first issue for consideration is whether or not the matter at hand is ‘development’, which is defined in the Act as comprising two chief components: ‘works’ and / or ‘any material change in the use of any structures or other land’. It is clear that the construction of a winter garden area comprises ‘works’, which is defined in section 3(1) of the Act as including ‘any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal’. As the proposal comprises ‘works’, it is clearly therefore ‘development’ within the meaning of the Act.

### CONCLUSION — *is development*

### 6.2 *Exempted development*

The next issue for consideration is whether or not the matter at hand is exempted development. Section 2(1) of the Act defines ‘exempted development’ as having ‘the meaning specified in section 4’ of the Act (which relates to exempted development).

Section 4(3) of the Act states that exempted development either means development specified in section 4(1) or development which is exempted development having regard to any regulations under section 4(2). In my opinion the proposed extension does not come within the scope of section 4(1). The proposed extension comes under the scope of **section 4(2)** (i.e. exemptions specified in the Regulations), having regard to the use of the word ‘or’ in section 4(3).

No restrictive de-exemptions on constructing rear extensions etc were placed on the governing housing estate permission. A change of house type was subsequently granted on site.

A single storey extension of 12 sq.m. was erected to the rear of the house sometime between 1999 and 2002. This extension was deemed to be exempted development under the precious Section 5 application Ref 614/20.

The proposed winter garden area would be situated adjacent to the exempt kitchen extension and have an area of 13.5 sq.m. As the sides and the support structures for the roof are permanent fixtures rather than temporary demountable structures, the development is considered to fall into the category of an extension rather than an awning and so should be considered under Class 1 (which I note includes reference to conservatories) rather than Class 3. As such the proposal is assessed against the conditions and limitations on this Class as follows:

The combined floor area with the existing extension is below 40 sq.m. (25.5 sq.m.) (C1(a) and 2(a))

C.3 N/A.

The height of the roof (flat) would not be higher than the height of the rear wall of the house (C.4(a) or the eaves or parapet (C.4(c)).

More than 25 sq.m. of a rear garden would remain (C.5).

The remaining distance from the glazed eastern elevation to the adjoining party boundary would be at least 1m (and more in part) (C.6 (a)). (Note: The structure as proposed under Ref: 614/20 was not considered to be exempted development under Class 1 however the design has been revised so that it is now fulfils the condition and limitation 6(a).

C. 7 (N/A).

**Conclusion:**

The work is development and is exempted development.

**8. ENVIRONMENTAL ASSESSMENT**

I note the provisions of sections 4(4), 4(4A) and 177U(9) of the Act which state as follows:

*Section 4(4),*

*Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.*

*Section 4(4A)*

*Notwithstanding subsection (4), the Minister may make regulations prescribing development or any class of development that is—*

- (a) authorised, or required to be authorised by or under any statute (other than this Act) whether by means of a licence, consent, approval or otherwise, and*
  - (b) as respects which an environmental impact assessment or an appropriate assessment is required,*
- to be exempted development.*

*Section 177U(9)*

*In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.*

**Screening for Environmental Impact Assessment**

Having regard to the contents of Article 103 and Schedule 7 of the Planning and Development Regulations 2001, as amended it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly, it is considered that environmental impact assessment is not required.

**Screening for Appropriate Assessment**

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The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of these European sites. Accordingly, it is considered that appropriate assessment is not required.

**9. CONCLUSION**

In considering this referral the Planning Authority had regard to:

—

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended) and
- (c) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended);

The Planning Authority has concluded that —

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000 (as amended);
- (b) the proposed winter garden area should be considered under Class 1 of the Planning and Development Regulations 2001 (as amended) as it contains permanent supports and glazed sides;
- (c) all limitations and conditions contained in Class 1 of Part 1 of Schedule 2 to the Planning and Development Regulations 2001 (as amended) are met;

Therefore, the Planning Authority decides that –

*the construction of a proposed winter garden area to the rear of the house with a retractable roof*

at 4 Rossbrook, Model Farm Road, Cork

is development and is exempted development.

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Evelyn Mitchell,  
Senior Executive Planner.  
18.03.2021



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Noel Sheridan  
4 Rossbrook  
Model Farm Road  
Cork

20/03/2021

**RE: R640/21 – Section 5 Declaration**  
**Property: 4 Rossbrook, Model Farm Road, Cork**

Dear Sir/Madam,

In considering this referral the Planning Authority had regard to:

- 
- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended) and
- (c) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended);

The Planning Authority has concluded that –

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000 (as amended);
- (b) the proposed winter garden area should be considered under Class 1 of the Planning and Development Regulations 2001 (as amended) as it contains permanent supports and glazed sides;
- (c) ~~all limitations and conditions contained in Class 1 of Part 1 of Schedule 2 to the~~  
Planning and Development Regulations 2001 (as amended) are met;

Therefore, the Planning Authority decides that –

*the construction of a proposed winter garden area to the rear of the house with a retractable roof*

at 4 Rossbrook, Model Farm Road, Cork

is development and is exempted development.

Yours faithfully,

Kerry Bergin  
Assistant Staff Officer  
Community, Culture and Placemaking  
Cork City Council



**We are Cork.**





Nomo | Rialto

**Pratic**<sup>®</sup>  
THE OPEN AIR CULTURE



## Nomo e Rialto



## Nomo | Rialto

Realizzate interamente in alluminio e dotate di copertura con tenda scorrevole su guide chiudibile a pacchetto, Nomo e Rialto rappresentano una struttura di nuova generazione. Ogni singolo modulo raggiunge le dimensioni massime di 550x700 cm, e più moduli possono essere affiancati per dare vita a spazi protetti, indipendenti ed eleganti.

### EN

*Totally made of aluminium and equipped with a retractable cover on guides, Nomo and Rialto are the new generation of structures. Each single module reaches the maximum dimensions of 550 x 700 cm. It is possible to couple more modules to create protected, independent and elegant areas.*

### DE

*Vollständig aus Aluminium hergestellt, mit einer Abdeckung mit Schiebemarkise auf Führungen ausgestattet, schließen sich Nomo und Rialto zum Paket und sie sind Strukturen neuer Generation. Jedes einzelnes Modul erreicht die maximale Abmessungen von 550 x 700 cm. und verschiedene Module können zusammensetzen werden, um geschützte, eigenständige und elegante Räume zu erschaffen.*

### FR

*Réalisées entièrement en aluminium et équipées de couverture avec store coulissant sur rails, Nomo et Rialto représentent une structure de nouvelle génération. Chaque module rejoint les dimensions maximum de 550 x 700 cm. et plusieurs modules peuvent être accolés pour donner vie à des espaces protégés, indépendants et élégants.*

### ES

*Totalmente hechas de aluminio y dotadas de cobertura con toldo corredero sobre guías plegable, Nomo y Rialto son estructuras de nueva generación. Cada módulo alcanza las medidas máximas de 550 x 700 cm. Es posible combinar más módulos para crear espacios protegidos, independientes y elegantes.*

Community Culture & Placemaking

01 MAR 2011

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**Nomo:** Struttura predisposta con tenda Zip Raso integrata nei profili portanti.

**EN**  
*Nomo: Structure conceived with Zip Raso awning integrated into the supporting profiles.*

**DE**  
*Nomo: Struktur mit der in den Tragprofilen integrierte Markise Zip Raso vorbereitet.*

**FR**  
*Nomo: Structure prédisposée avec store Zip Raso intégré dans les profilés portants.*

**ES**  
*Nomo: Estructura concebida con toldo Zip Raso integrado en los largueros.*

**Rialto:** Struttura predisposta per integrare la tenda Zip Windy con cassonetto aggiuntivo.

**EN**  
*Rialto: Structure conceived to complete the Zip Windy awning with additional cassette.*

**DE**  
*Rialto: Struktur vorbereitet, um die Markise Zip Windy mit zusätzlicher Kasette zu enthalten.*

**FR**  
*Rialto: Structure prédisposée pour intégrer le store Zip Windy avec coffre ajouté.*

**ES**  
*Rialto: Estructura concebida para completar el toldo Zip Windy con cofre adicional.*





Community Culture & Marketing

01 MAR 2021

Nomo e Rialto

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## Raso

Raso è la chiusura verticale con Zip, completamente integrata nella struttura della pergola Nomo. Grazie ai tessuti trasparenti, filtranti o oscuranti Raso offre la luminosità desiderata e soddisfa le esigenze di protezione totale.

### EN

*Raso is the vertical closure with Zip, completely integrated into the structure of the pergola Nomo. Thanks to the transparent, screening or block out fabrics, it offers the desired lighting and satisfies the need for total protection.*

### FR

*Raso est la fermeture verticale avec Zip, complètement intégrée dans la structure de la pergola Nomo. Grâce aux tissus transparents, filtrants ou obscurissants, Raso offre la luminosité désirée et satisfait les exigences de protection totale.*

### DE

*Raso ist die vertikale Schließung mit Zip, die völlig in der Struktur der Pergola Nomo eingebaut ist. Dank den durchsichtigen, durchscheinenden oder verdunkelten Stoffen, gewährleistet Raso die gewünschte Helligkeit zur Befriedigung vom Bedürfnis eines kompletten Schutzes.*

### ES

*Raso es el cierre vertical con Zip, totalmente integrado en la estructura de la pérgola Nomo. Gracias a los tejidos transparentes, filtrantes u oscurantes Raso ofrece la luz deseada y satisface las necesidades de protección total.*





01 MAR 2021

Nomo e Rialto

## Rialto

Rialto si distingue per essenzialità e funzionalità. È la struttura ideale per creare ambienti raffinati in cui godere i benefici della vita all'aria aperta. Disponibile in versione autoportante o addossata alla parete abbinabile a chiusure perimetrali vetrate Slide e Slide Glass.

### EN

*Rialto stands out for its essentiality and functionality. It is the ideal structure to create refined areas in which you can enjoy the benefits of the outdoor life. Available as self-supporting version or leaning against a wall, it can be matched with glass perimeter closures Slide and Slide Glass.*

### DE

*Die Pergola Rialto zeichnet sich durch Wesentlichkeit und Funktionalität aus. Sie ist die ideale Struktur, um auserlesene Umgebungen zu erschaffen, in denen Sie die Vorteile des Lebens im Freien genießen können. In der selbsttragenden Ausführung oder mit Montage an der Wand verfügbar, mit den umlaufenden Glasschließungen Slide und Slide Glass kombinierbar.*

### FR

*Rialto se distingue par sa forme essentielle et sa fonctionnalité. Elle est la structure idéale pour créer des ambiances raffinées dans lesquelles profiter des avantages de la vie en plein air. Disponible en version autoportante ou adossée au mur, peut être complétée avec des fermetures latérales en verre Slide et Slide Glass.*

### ES

*Rialto destaca por su esencialidad y funcionalidad. Es la estructura ideal para crear ambientes refinados que permiten gozar de los beneficios de la vida al aire libre. Disponible autoportante o incorporada a la pared, se puede combinar con los cierres perimetrales de vidrio Slide y Slide Glass.*



Rialto



Community Culture & Placemaking

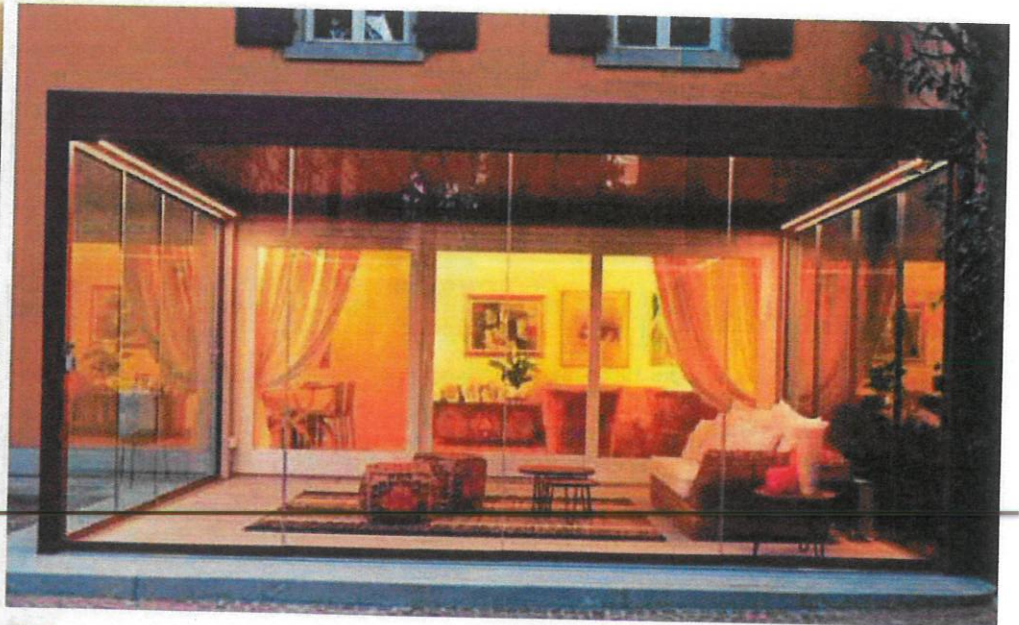
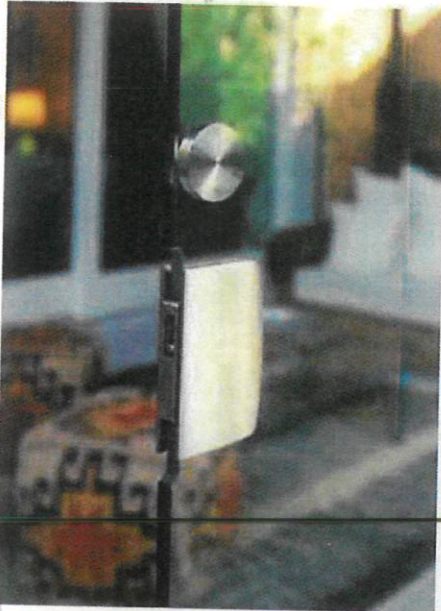
01 MAR 2021

Nomo e Rialto

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## SlideGlass

Slide Glass è un raffinato sistema di vetrate scorrevoli che permette la realizzazione di molteplici combinazioni di chiusure.



**EN**  
*Slide Glass is a sliding glass walls system that allows to create various closing combinations.*

**DE**  
*Slide Glass ist ein Schiebe-Glasflächen System, das die Herstellung zahlreicher Schließung-Kombinationen ermöglicht.*

**FR**  
*Slide Glass est un système coulissant parallèle à verres trempé permettant la création de multiples combinaisons de fermetures.*

**ES**  
*Slide Glass es un sistema de puertas de vidrio correderas que permite crear diferentes combinaciones de cierre.*



## 4 Rossbrook, Model Farm Rd., Cork

Development Management Section

Cork City Council

City Hall

Cork

23/02/2021

Re: Section 5 Declaration

4 Rossbrook Model Farm Rd.

Dear Sir/Madam,

Attached are two copies of drawings, completed application form and a cheque for €80 in respect of a Declaration under Section 5 of the Planning & Development Act.

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We are proposing to install a winter garden area at the rear of our house (4 Rossbrook) and are seeking the opinion of the Planning Authority as to its exempted development status. This is a follow on from a recent Declaration under reference R614/20 at the property. In that declaration, we requested the Authority's opinion on a number of specified items in addition to the winter garden. Each of those was declared exempted development, with the exception of the winter garden. According to the letter of the City Council of 25/01/2021, it was considered that the proposed garden room cannot be considered under Class 3 as it contains permanent supports and glazed sides. It was considered to be a Class 1 development and was not deemed exempt as it did not comply with condition and limitation 6(a). In this regard, the east glazed side was within 1m of the boundary it faces. We have since re-designed the winter garden reducing its size so that it is a minimum of 1m from the

Coimisiún Cathrach Chorcaí  
Cork City Council

01-03-2021

Strategic Planning & Economic  
Development Directorate

boundary. Its floor area will be 13.5sqm. The internal floor area of the ground floor kitchen extension is 10.75sqm. The combined areas of these ground floor developments will be less than the 40sqm allowed under the Regulations. All other conditions and limitations of Class 1 are satisfied. As stated under the previous Declaration, the proposed winter garden is a framed aluminium system which will feature a retractable roof and glazed wall with a sliding door system opening directly to the garden (an extract from the product specification is included).

For information purposes, the submitted drawings show the other works within the house which have been declared exempt under R614/20 and the first floor dormer extension which received planning permission under ref. 20/39313.

We trust all is in order and await your formal declaration on the matter.

Kind Regards

Noel Sheridan





site location - 1:2500

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Issued for: rev.  
 planning 29.05.20 0

Description:  
 Digital Cartographic Model (DCM)

Publisher / Source:  
 Ordnance Survey Ireland (OSi)

Data Source / Reference:  
 PRIME2

File Format:  
 Autodesk AutoCAD (DWG\_R2013)

File Name:  
 V\_50053366\_1.dwg

Clip Extent / Area of Interest (AOI):

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 LPX,LPY= 563165.5,570723.0  
 ULX,ULY= 562582.5,571153.0  
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Projection / Spatial Reference:  
 Projection= IRENET95\_Irish\_Transverse\_Mercator

Centre Point Coordinates:  
 X,Y= 562874.0,570938.0

Reference Index:  
 Map Series | Map Sheets  
 1:2,500 | 6381-D  
 1:1,000 | 6381-20

Data Extraction Date:  
 Date= 22-Mar-2019

Source Data Release:  
 DCLMS Release V1.115.104

Product Version:  
 Version= 1.3

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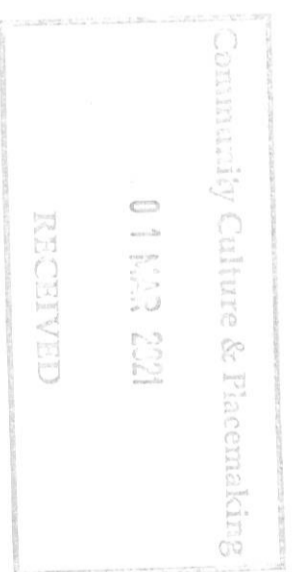
Arna thionsú agus arna fhoilsú ag Suirbhreacht Ordanáis Éireann, Páirc an Fhionnuisce, Baile Átha Cliath 8, Éire.

Sárarionn atáirgeadh neamhúdaraithe cóipcheart Suirbhreacht Ordanáis Éireann agus Rialtas na hÉireann.

Gach cead ar cosnamh. Ní ceadmhach aon chuid den fhoilseachán seo a chóipeáil, a atáirgeadh nó a tharchur in aon fhoirm ná ar aon bhealach gan cead i scríbhinn roimh ré ó úinéirí an chóipchirt.

Ní thiomann beathar, bealach nó cosán a bheith ar an léarscáil seo agus fianaise ar chead sli.

Ní thaispeánann léarscáil de chuid Ordanáis Shuirbhreacht na hÉireann teorann phointe deathuill de mhaoin riamh, ná úinéireacht de ghnéithe fisiciúla.



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ordinance map - 2500

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 101



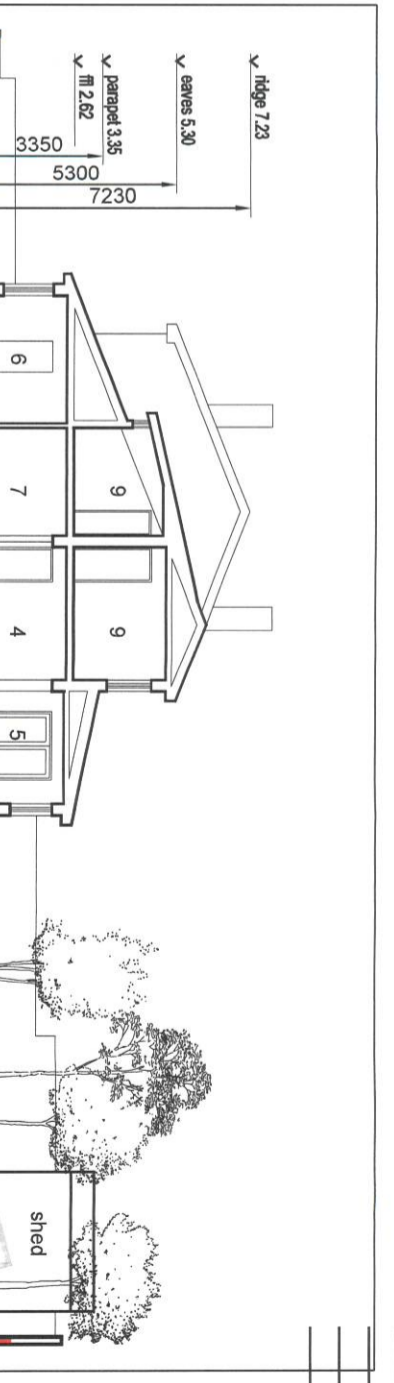
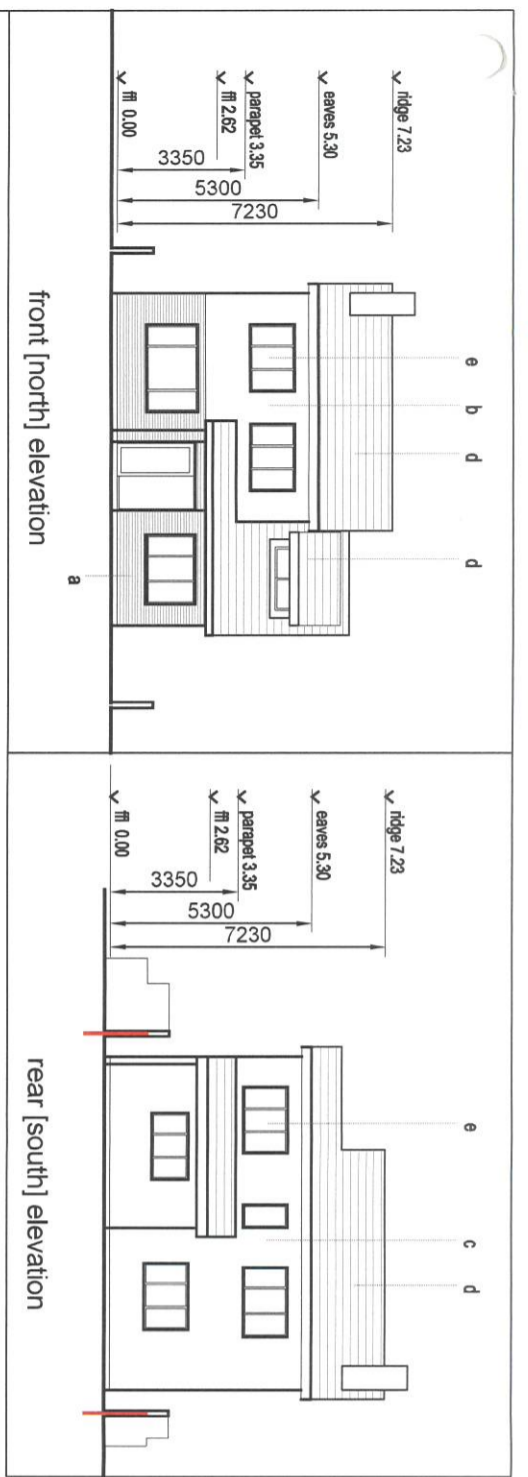




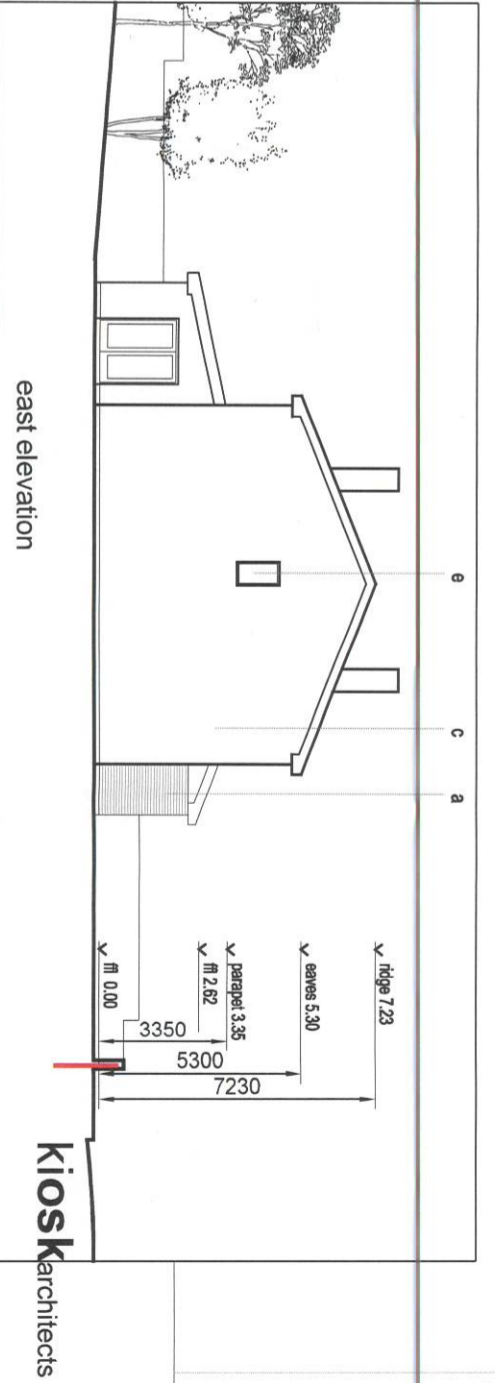
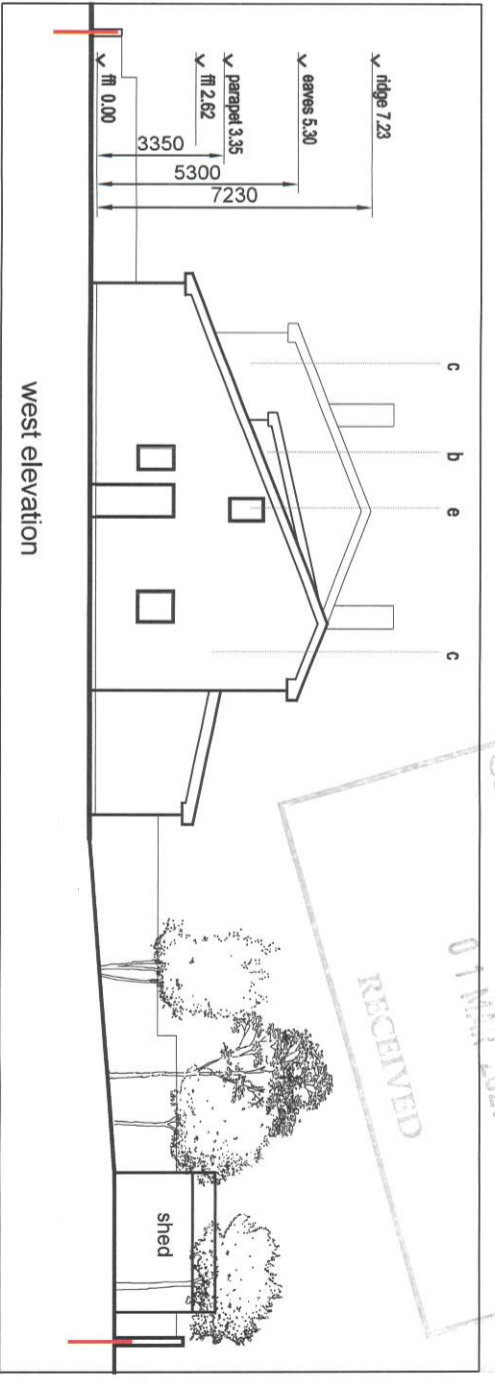
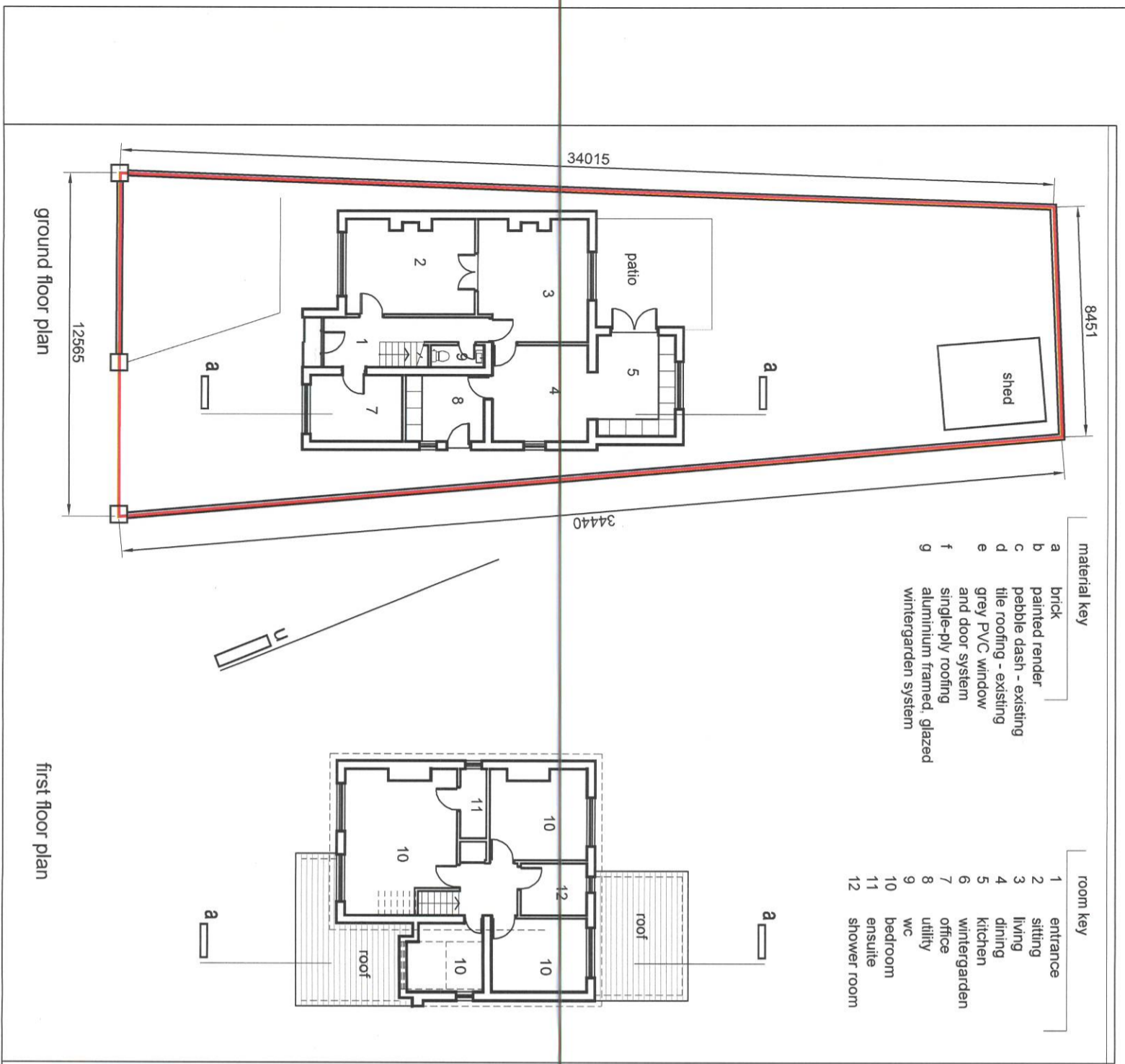
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 17.02.21 0

section 5 declaration



- material key**
- a brick
  - b painted render
  - c pebble dash - existing
  - d tile roofing - existing
  - e grey PVC window and door system
  - f single-ply roofing
  - g aluminium framed, glazed wintergarden system
- room key**
- 1 entrance
  - 2 sitting
  - 3 living
  - 4 dining
  - 5 kitchen
  - 6 wintergarden
  - 7 office
  - 8 utility
  - 9 WC
  - 10 bedroom
  - 11 ensuite
  - 12 shower room



existing - plans, section and elevations

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 address  
 job number

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 architects

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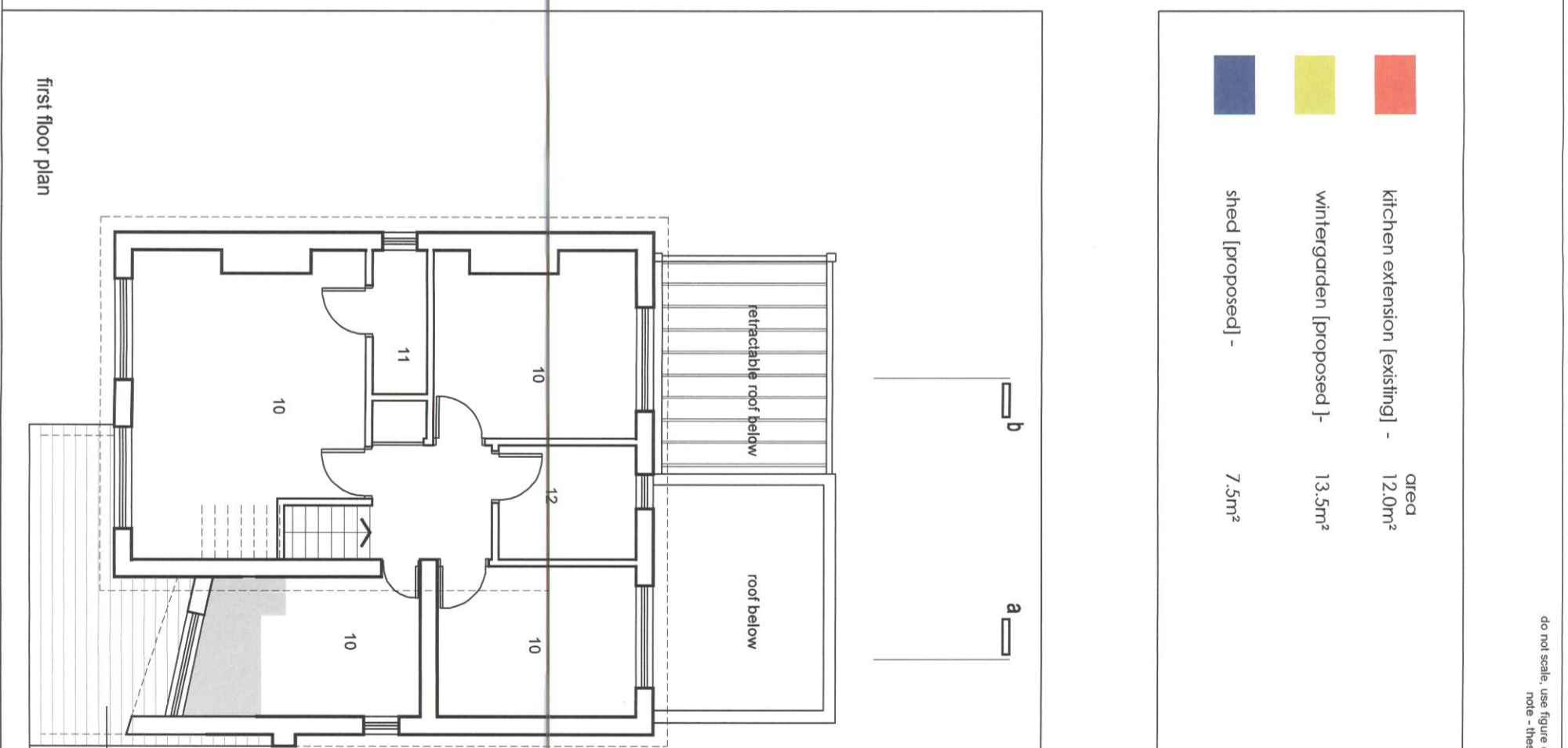
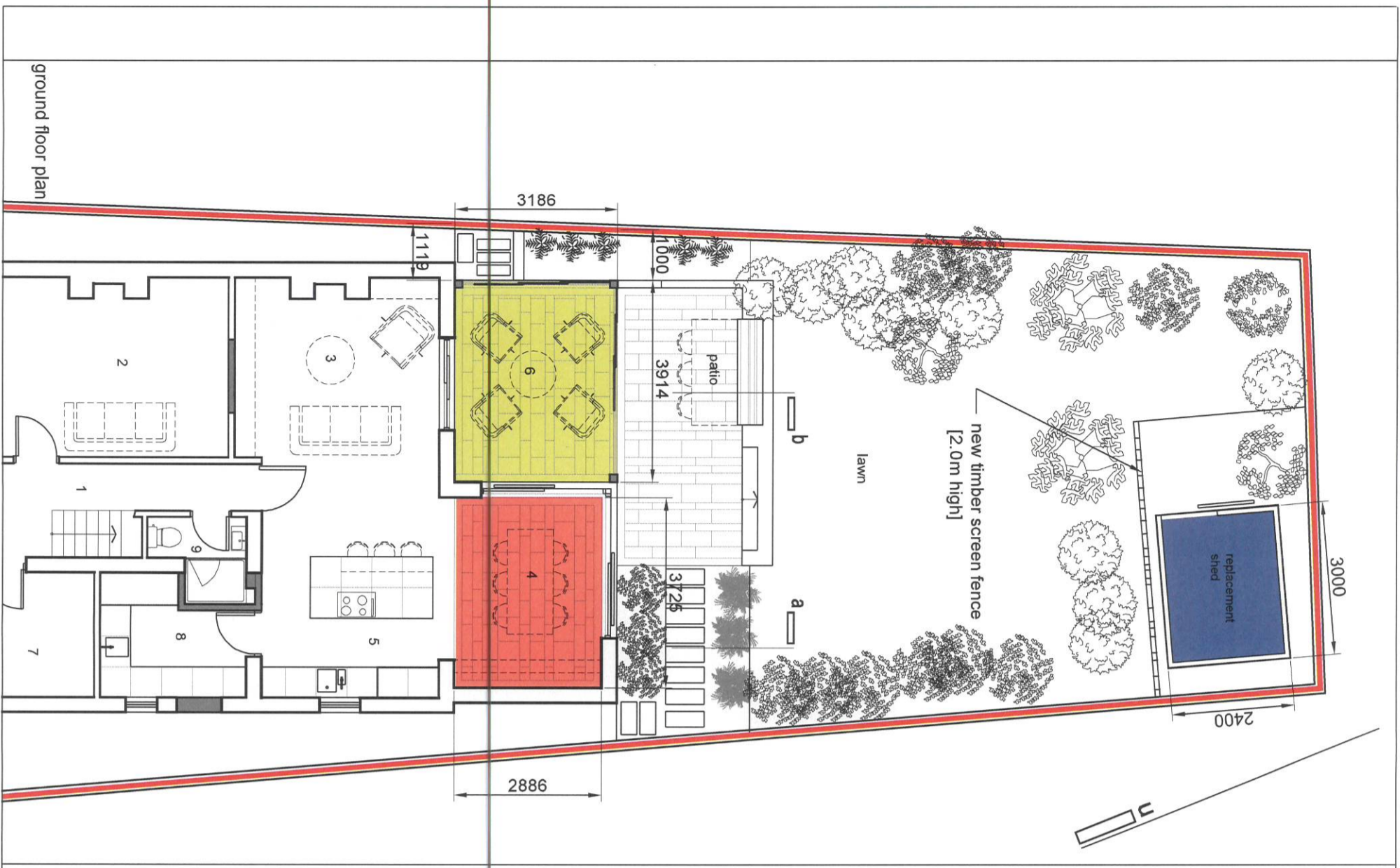
2200

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<span style="color: red;">■</span>	kitchen extension [existing] -	12.0m <sup>2</sup>
<span style="color: yellow;">■</span>	wintergarden [proposed] -	13.5m <sup>2</sup>
<span style="color: blue;">■</span>	shed [proposed] -	7.5m <sup>2</sup>

- room key
- 1 entrance
  - 2 sitting
  - 3 living
  - 4 dining
  - 5 kitchen
  - 6 wintergarden
  - 7 office
  - 8 utility
  - 9 wc
  - 10 bedroom
  - 11 ensuite
  - 12 shower room

- material key
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  - d tile roofing - existing
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  - f single-ply roofing
  - g aluminium framed, glazed wintergarden system



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**proposed - plans** 2220  
 drawing title drawing number  
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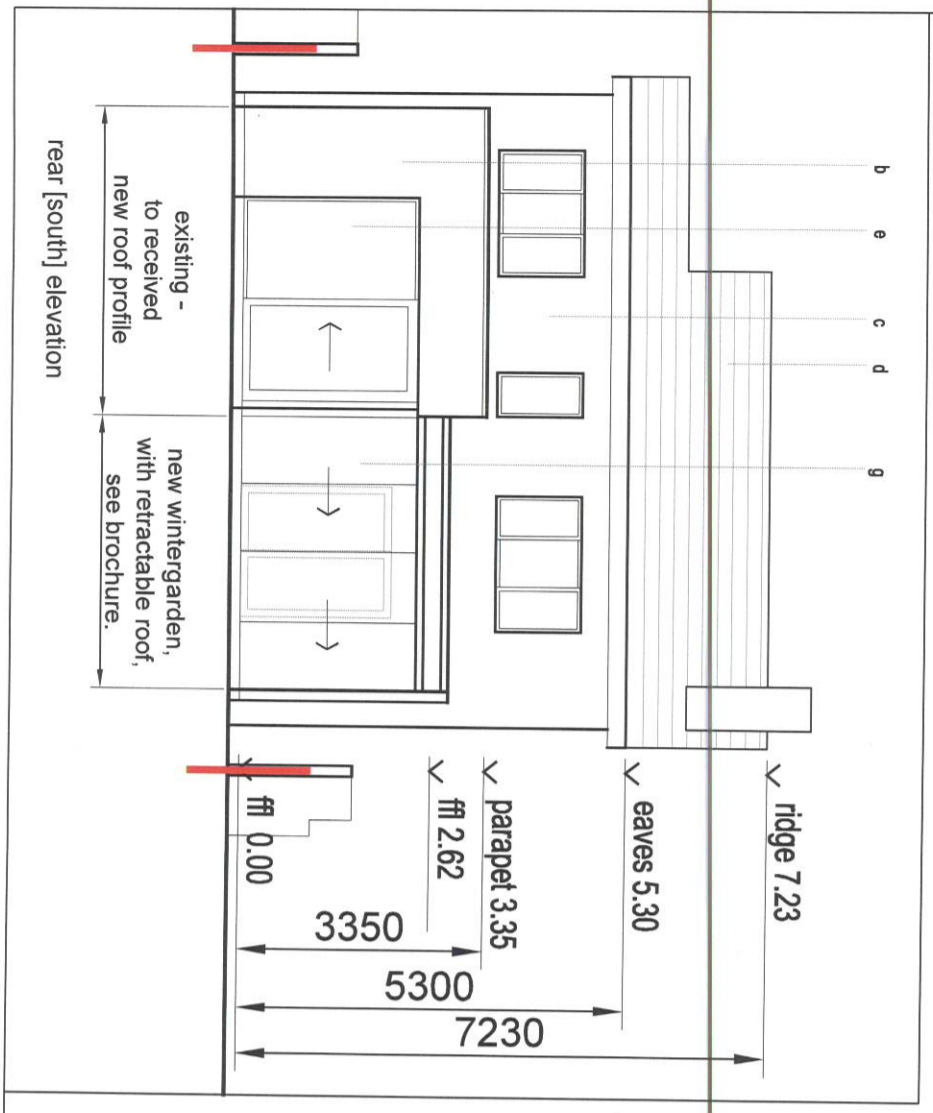
front [north] elevation



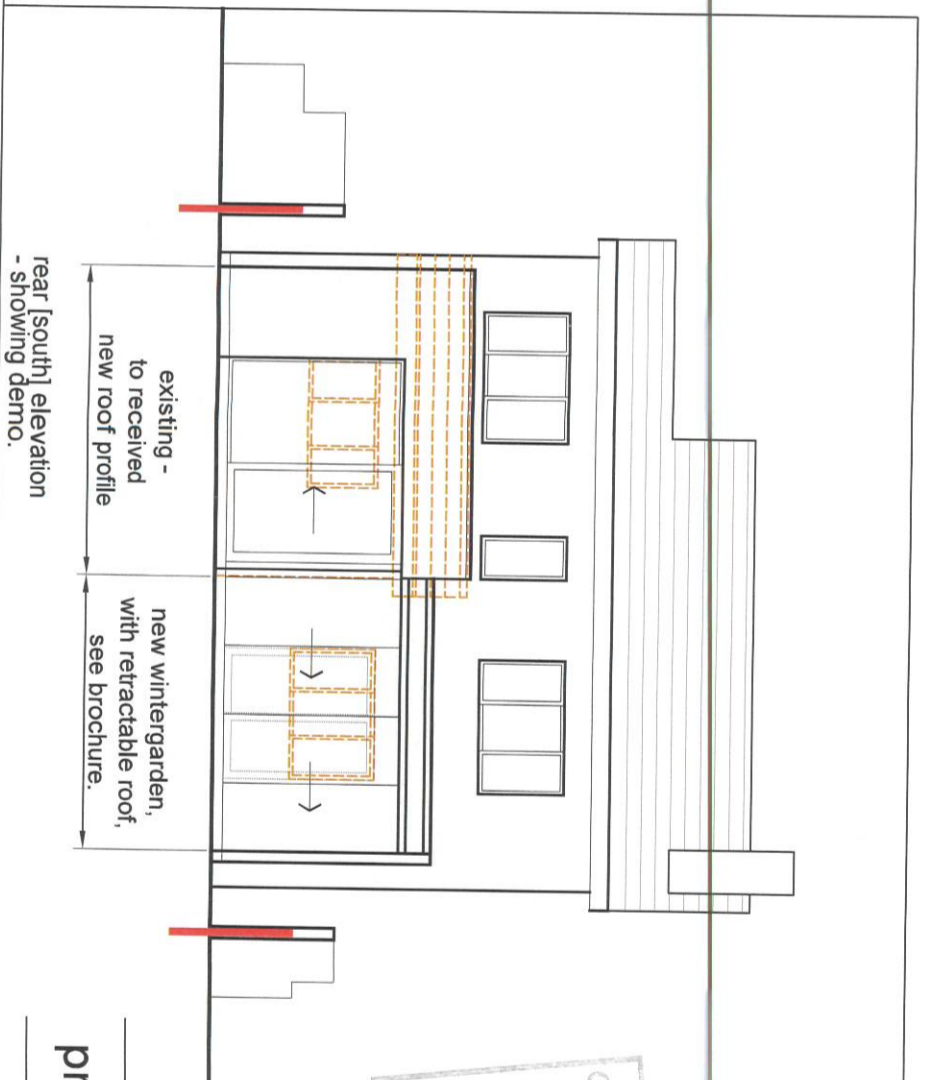
front [north] elevation - showing demo.

new construction permitted under 20/39313 shown in grey tone

demolition shown dashed orange



rear [south] elevation



rear [south] elevation - showing demo.

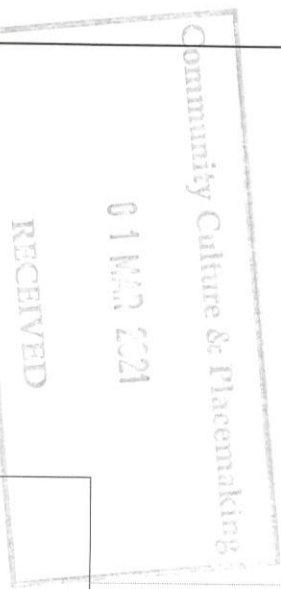
room key

- 1 entrance
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- 4 dining
- 5 kitchen
- 6 wintergarden
- 7 office
- 8 utility
- 9 wc
- 10 bedroom
- 11 ensuite
- 12 shower room

material key

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- b painted render
- c pebble dash - existing
- d tile roofing - existing
- e grey PVC window
- f and door system
- g single-ply roofing
- aluminium framed, glazed wintergarden system

wintergarden -  
 proprietary system of aluminium structure with retractable canvas roof and sliding, frameless glass doors to south and east elevations.  
 see brochure - pralio - itallo



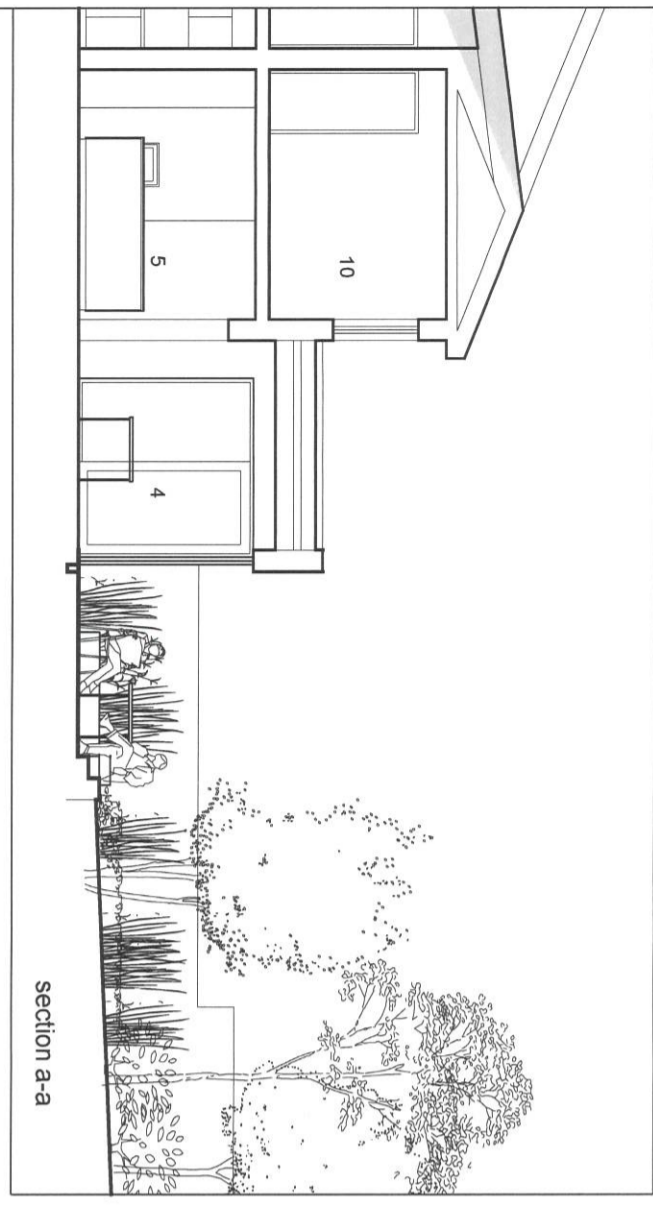
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 job number

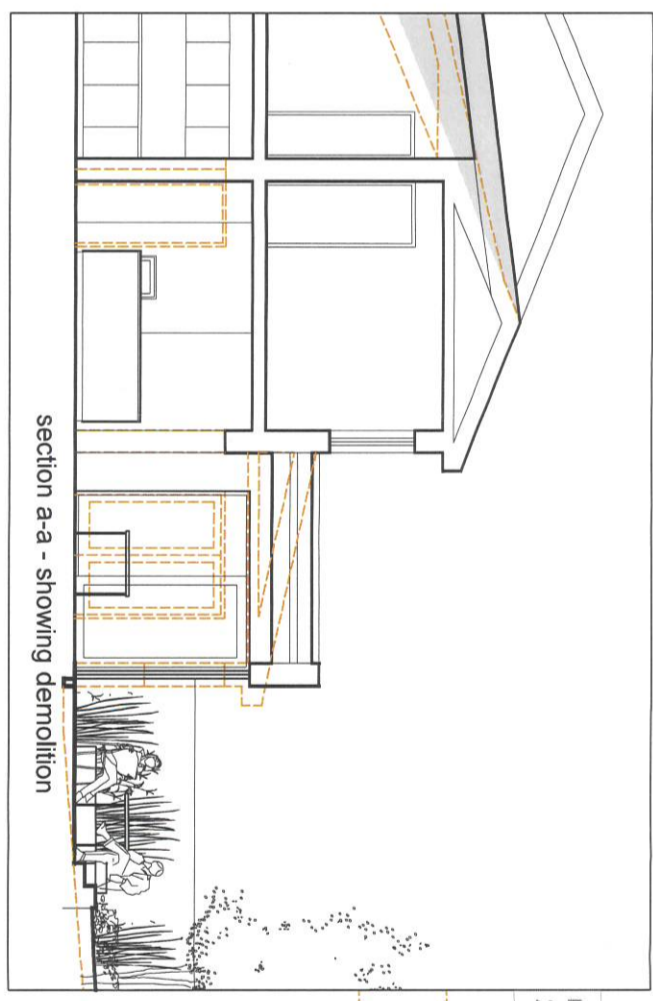
proposed - elevations

2221

1:100 @ A3 scale of 1xx sheets



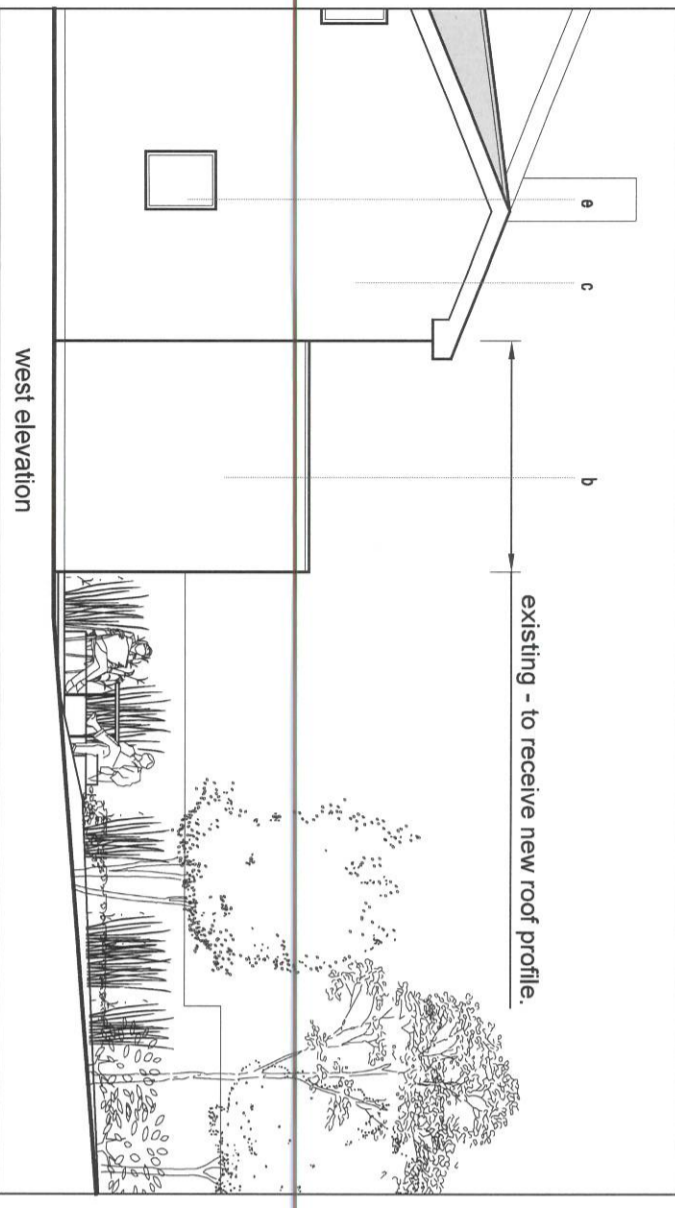
section a-a



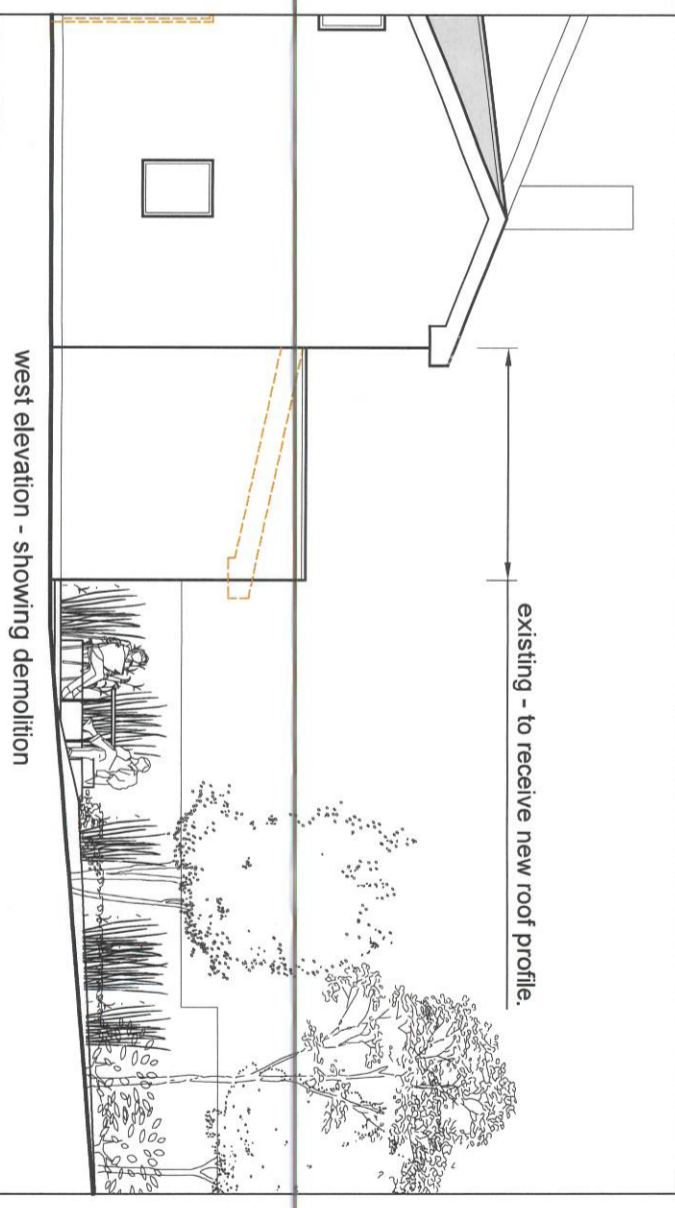
section a-a - showing demolition

new construction permitted under  
 20/39313 shown in grey tone

demolition shown  
 dashed orange



west elevation



west elevation - showing demolition

material key

- a brick
- b painted render
- c pebble dash - existing
- d tile roofing - existing
- e grey PVC window
- f and door system
- g single-ply roofing
- h aluminium framed, glazed
- i wintergarden system

room key

- 1 entrance
- 2 sitting
- 3 living
- 4 dining
- 5 kitchen
- 6 wintergarden
- 7 office
- 8 utility
- 9 wc
- 10 bedroom
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- 12 shower room

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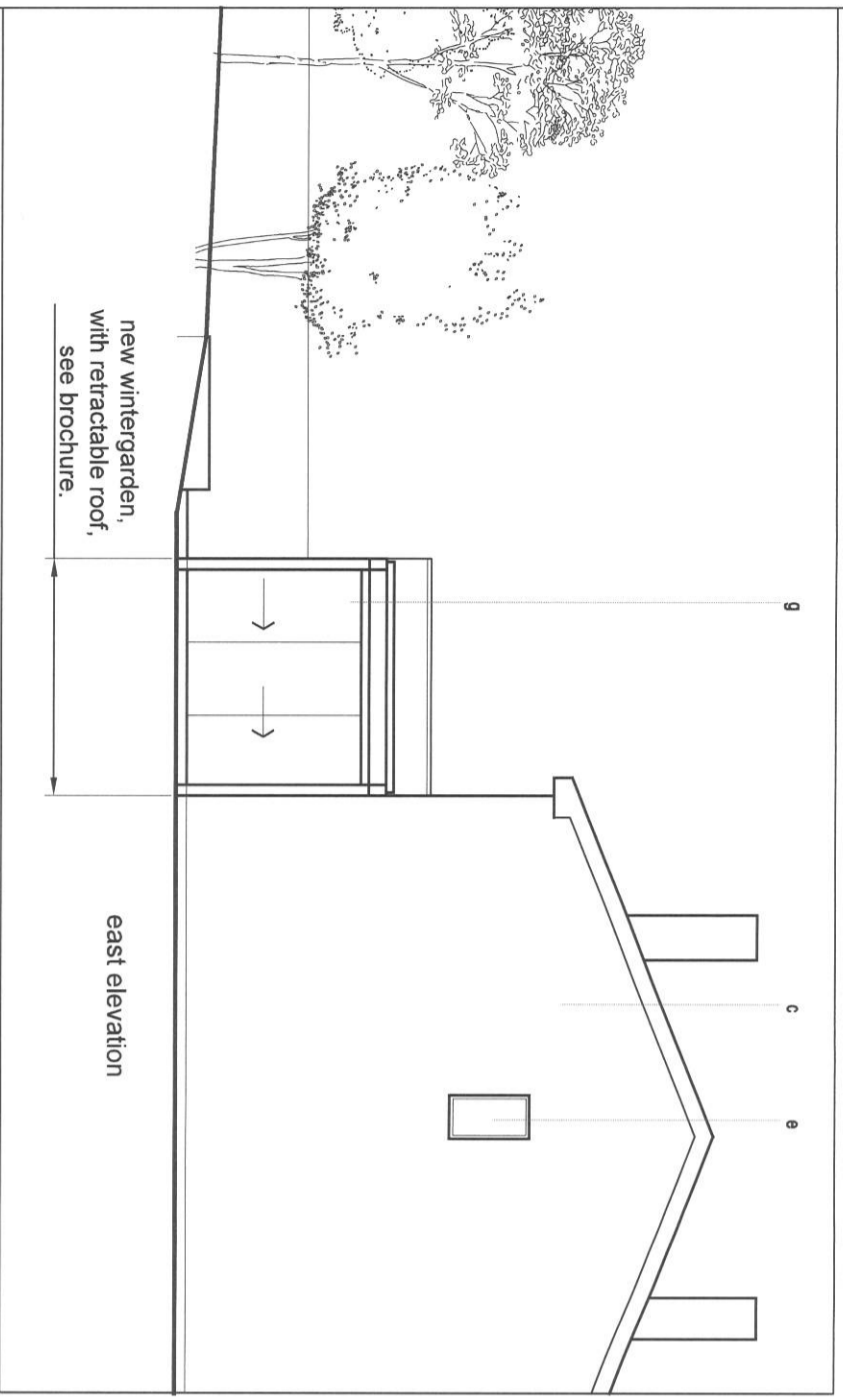
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proposed - west elevation, section a-a

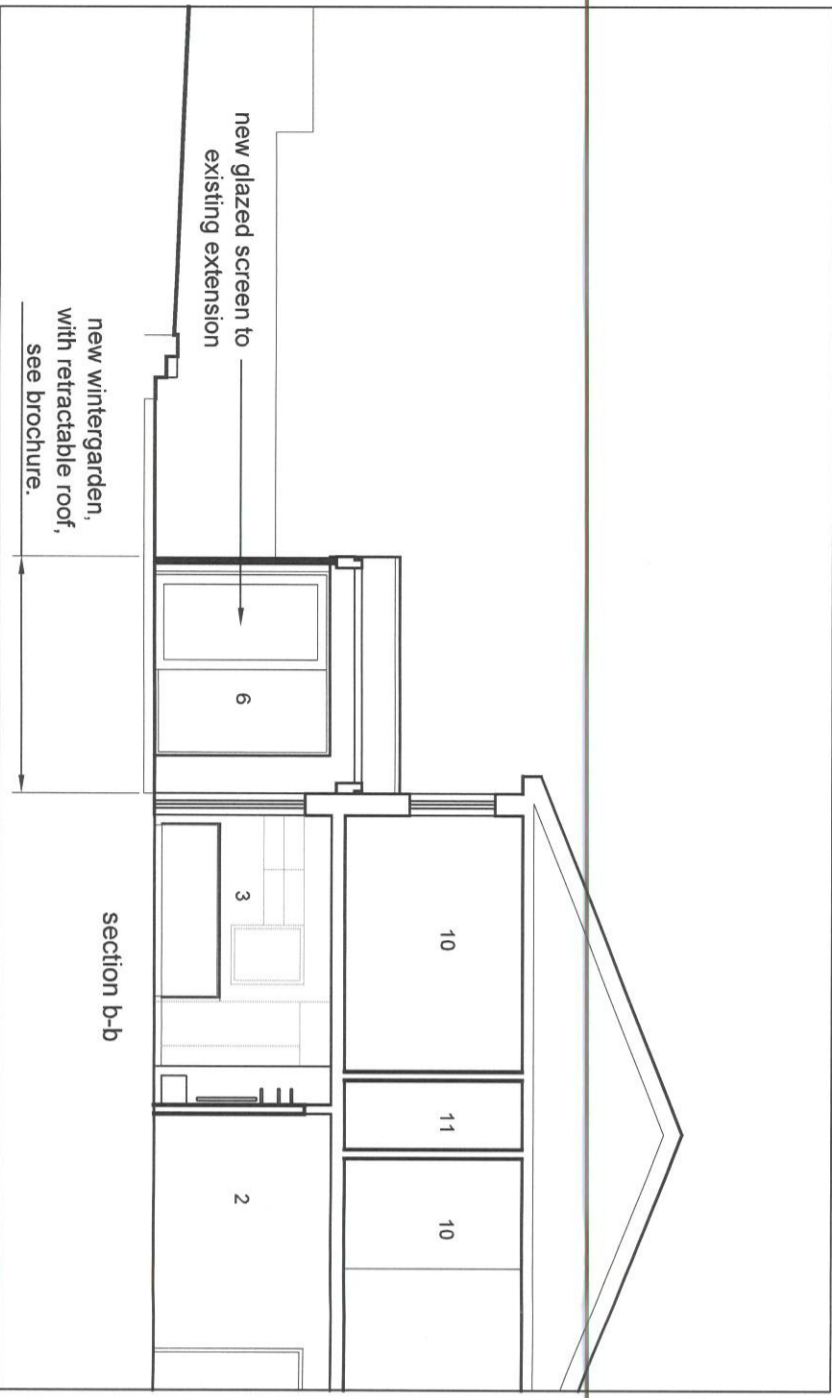
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drawing title drawing number  
 1:100 @ A3 scale of 1xx sheets





east elevation



section b-b

material key

- a brick
- b painted render
- c pebble dash - existing
- d tile roofing - existing
- e grey PVC window and door system
- f single-ply roofing
- g aluminium framed, glazed wintergarden system

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 see brochure - pratic - rialto



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proposed - east elevation, section b-b

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