



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Alan Kennedy,  
c/o BJS Consultants,  
1 Marble Hill,  
Boreenmanna Road,  
Cork.

13/12/2022

**RE: Section 5 Declaration R745/22 Ballynaparson, Glanmire, Co. Cork**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 24<sup>th</sup> October 2022, and further information received 21<sup>st</sup> November 2022, I wish to advise as follows:

The Planning Authority, in view of the above and having regard to:

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended), and

It is considered that –

The question has been asked whether changes made to the development approved under Grant of Permission 18/5832, specifically:

- 1) Alteration to first floor windows on the front elevation
- 2) Alterations to the pitch of the roof
- 3) Removal of windows from rear elevation
- 4) Widening of window on rear elevation
- 5) Addition of glass door to rear elevation
- 6) Addition of small porch to rear elevation
- 7) Relocation of domestic garage

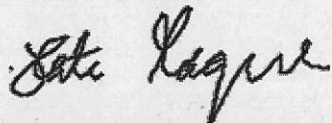
constitutes **DEVELOPMENT** and **IS NOT EXEMPTED DEVELOPMENT**.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 13<sup>th</sup> December 2022.



**We are Cork.**

Is mise le meas,

A handwritten signature in black ink, appearing to read 'Kate Magner', written in a cursive style.

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**Kate Magner**  
**Development Management Section**  
**Community, Culture and Placemaking Directorate**  
**Cork City Council**

<b>PLANNER'S REPORT</b> <b>Ref. R745 / 22</b>		Cork City Council Culture, Community and Placemaking
<b>Application type</b>	Section 5 Declaration	
<b>Description</b>	See section 2 in Planner's Report of 02/11/2022	
<b>Location</b>	Ballynaparson, Glanmire	
<b>Applicant</b>	Alan Kennedy	
<b>Date</b>	08/12/2022	
<b>Recommendation</b>	<i>Is Development and Is Not Exempted Development</i>	

This report should be read in conjunction with the previous report on the file dated 02/11/2022. The applicant was asked to submit the following further information:

*Having considered the particulars submitted with the application it considered that one or more of the changes, set out therein, are not exempted development. In the absence of further information it is not possible to assess the remaining works listed in your the Section 5 application. Accordingly please submit the following:*

- *First and Floor plans of dwelling – as now proposed or constructed, whichever the case may be*
- *South West and North East elevations – as now proposed or constructed, whichever the case may be*

*In your response you shall confirm whether the proposed rooflights were placed in tandem with the development permitted under 16/6641? If not then please confirm when the insertion occurred.*

*Please also note that the elevational as shown on the plans provided, which show different window and door types from those permitted under 16/6641, will not be assessed as part of this application.*

In response the applicant has provided the plans requested. No narrative or explanation was provided.

I am satisfied that the development in question differs from the plans submitted as part of Planning Application Ref. No. 18/5832, to an extent that is not exempted development. In particular I note that the relocation of the garage is not exempted development.

There is no exemption set out in legislation to provide for the changes made to the development as constructed. The dwelling and garage do not accord with Condition 1 on the grant of permission and accordingly planning permission would be required to regularise this non-compliance.

I note that, as the description set out in the application has not included alterations to the front windows and roofscape of the dwelling, I propose that the declaration should include a revised description.

#### **1. RECOMMENDATION**

In view of the above and having regard to —

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)

It is considered that —

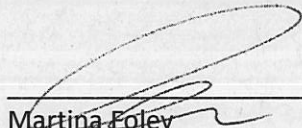
The question has been asked whether changes made to the development approved under Grant of Permission 18/5832, specifically:

- 1) *Alteration to first floor windows on the front elevation*



- 2) *Alterations to the pitch of the roof*
- 3) *Removal of windows from rear elevation*
- 4) *Widening of window on rear elevation*
- 5) *Addition of glass door to rear elevation*
- 6) *Addition of small porch to rear elevation*
- 7) *Relocation of domestic garage*

**constitutes development and is not exempted development.**



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Martina Foley  
Executive Planner

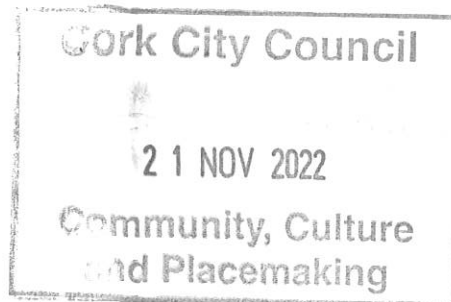


**BJS Consultants**  
Chartered Civil and Structural Engineers

BJS Consultants  
1 Marble Hill  
Boreenmanna Road  
Cork  
Ireland

Phone: +353 (0) 21 431 5610  
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E-mail: [info@bjsc consultants.com](mailto:info@bjsc consultants.com)  
Web: [www.bjsc consultants.com](http://www.bjsc consultants.com)

Planning Department  
County Hall,  
Carrigrohane Road,  
Cork  
T12 R2NC



BJS/POL/034(18-18)/5694

15<sup>th</sup> November 2022

**Re: Section 5 Declaration R745/22 - Ballynaparson, Glanmire, Co. Cork.**

Dear Sir/Madam,

Further to request for further information letter dated 08/11/2022, please see attached the requested drawings;

- Ground and First Floor Plan
- North, South, East & West Elevation

We trust the above is satisfactory and look forward to your favourable decision.

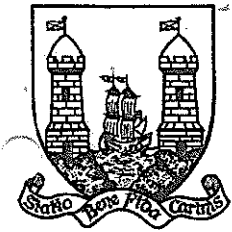
Yours Sincerely,

---

*Denise O Dwyer*  
*BJS Consultants*  
*Civil and Structural Engineers*



Member of the Association of  
Consulting Engineers of Ireland



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Alan Kennedy,  
c/o BJS Consultants,  
1 Marble Hill,  
Boreenmanna Road,  
Cork.

08/11/2022

**RE: Section 5 Declaration R745/22 Ballynaparson, Glanmire, Cork.**

A Chara,

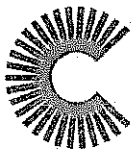
With reference to your request for a Section 5 Declaration at the above-named property, I wish to advise under the provisions of section 5(2)(b) of the Planning and Development Act 2000, as amended, that the further information is required in order to properly assess this application.

Having considered the particulars submitted with the application it considered that one or more of the changes, set out therein, are not exempted development. In the absence of further information, it is not possible to assess the remaining works listed in the Section 5 application. Accordingly, please submit the following:

1. First Floor and Ground Floor plans of dwelling – as now proposed or constructed, whichever the case may be,
2. South West and North East elevations – as now proposed or constructed, whichever the case may be.

Is mise le meas,

**Kate Magner**  
Development Management Section  
Community, Culture and Placemaking Directorate  
Cork City Council

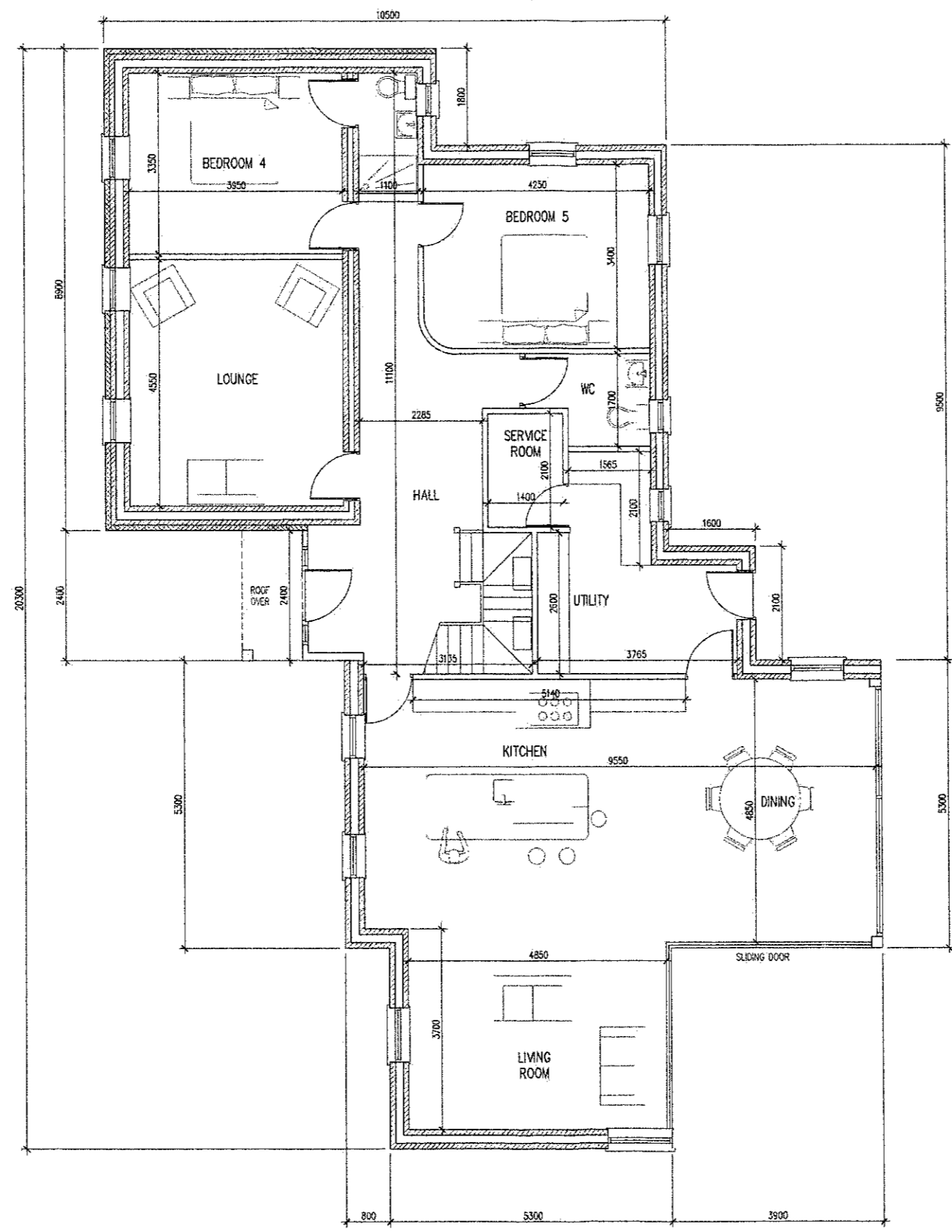


**We are Cor**

NOTES



NORTH EAST  
ELEVATION  
034.18.18-CE-08



A  
034.18.18-CE-06

NORTH WEST  
ELEVATION  
034.18.18-CE-09

B  
034.18.18-CE-08

C  
034.18.18-CE-06

A

SOUTH EAST  
ELEVATION  
034.18.18-CE-09

B

C

SOUTH WEST  
ELEVATION  
034.18.18-CE-08

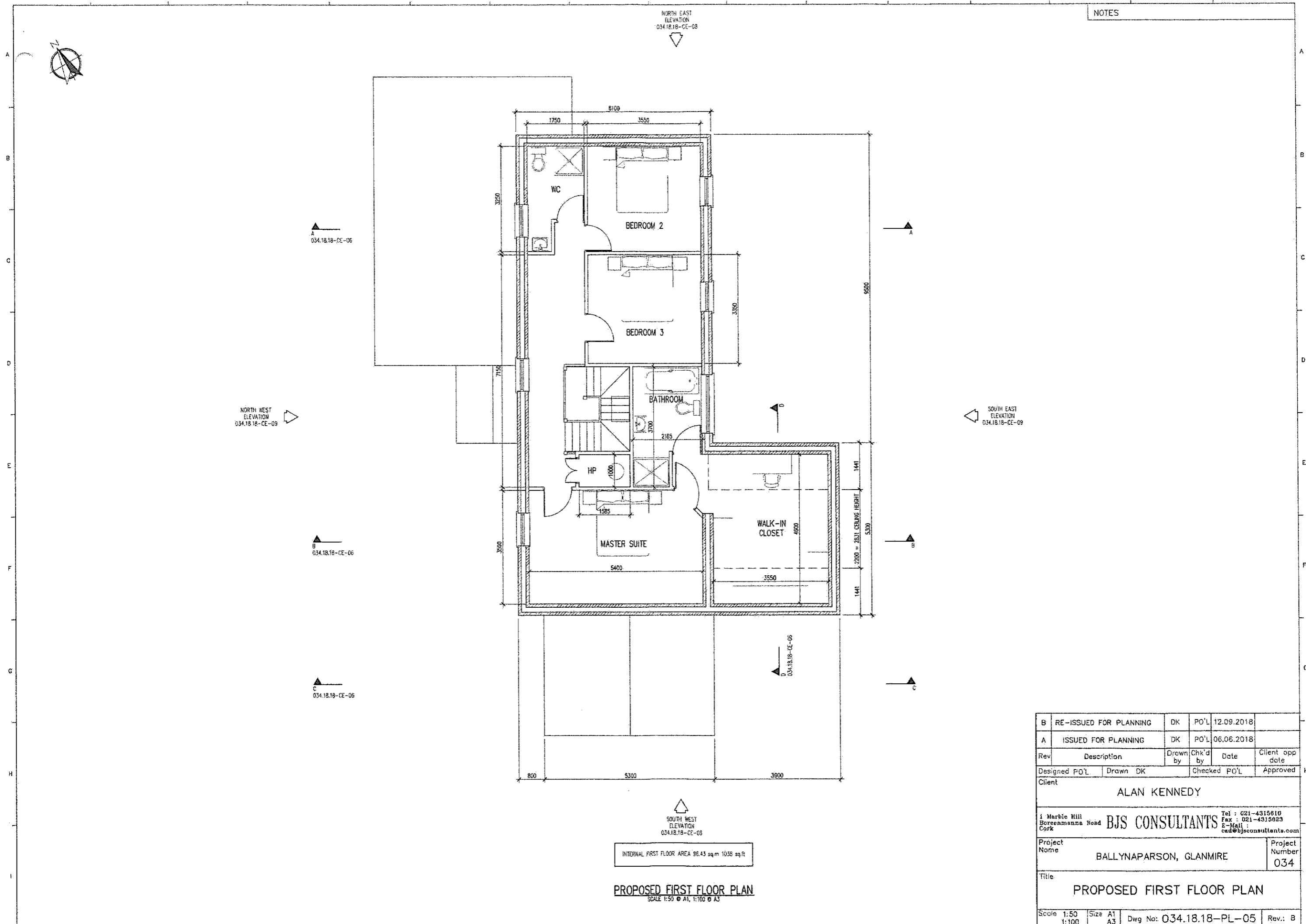
INTERNAL GROUND FLOOR AREA 151.80 sq.m 1633 sq.ft

**PROPOSED GROUND FLOOR PLAN**

SCALE 1:50 @ A1, 1:100 @ A3

A	ISSUED FOR PLANNING	DK	PO'L	06.06.2018	
Rev	Description	Drawn by	Chk'd by	Date	Client app date
Designed PO'L	Drawn DK	Checked PO'L	Approved		
Client <b>ALAN KENNEDY</b>					
1 Marble Hill Boreenanna Road Cork		<b>BJS CONSULTANTS</b>		Tel : 021-4315610 Fax : 021-4315623 E-Mail : cad@bjsconsultants.com	
Project Name <b>BALLYNAPARSON, GLANMIRE</b>				Project Number <b>034</b>	
Title <b>PROPOSED GROUND FLOOR PLAN</b>					
Scale	1:50	Size	A1	Dwg No:	034.18.18-PL-04
	1:100		A3	Rev.:	A

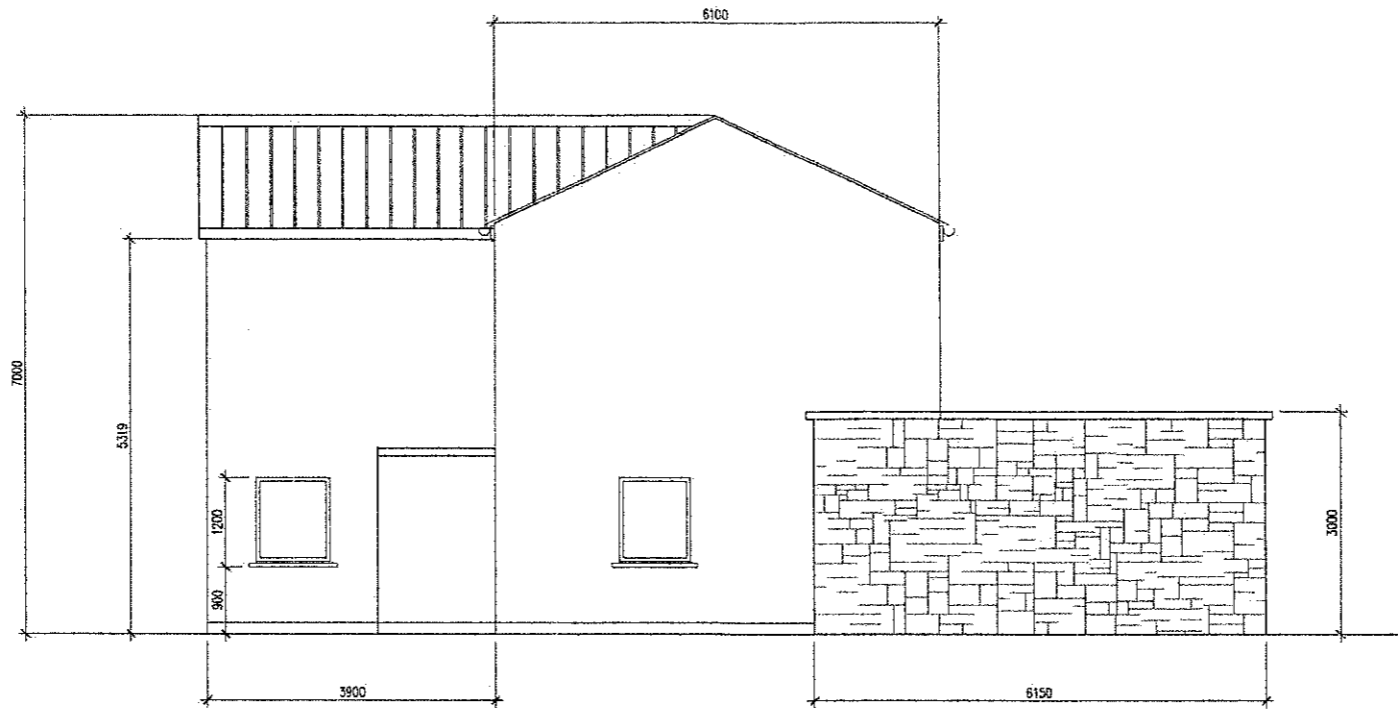
NOTES



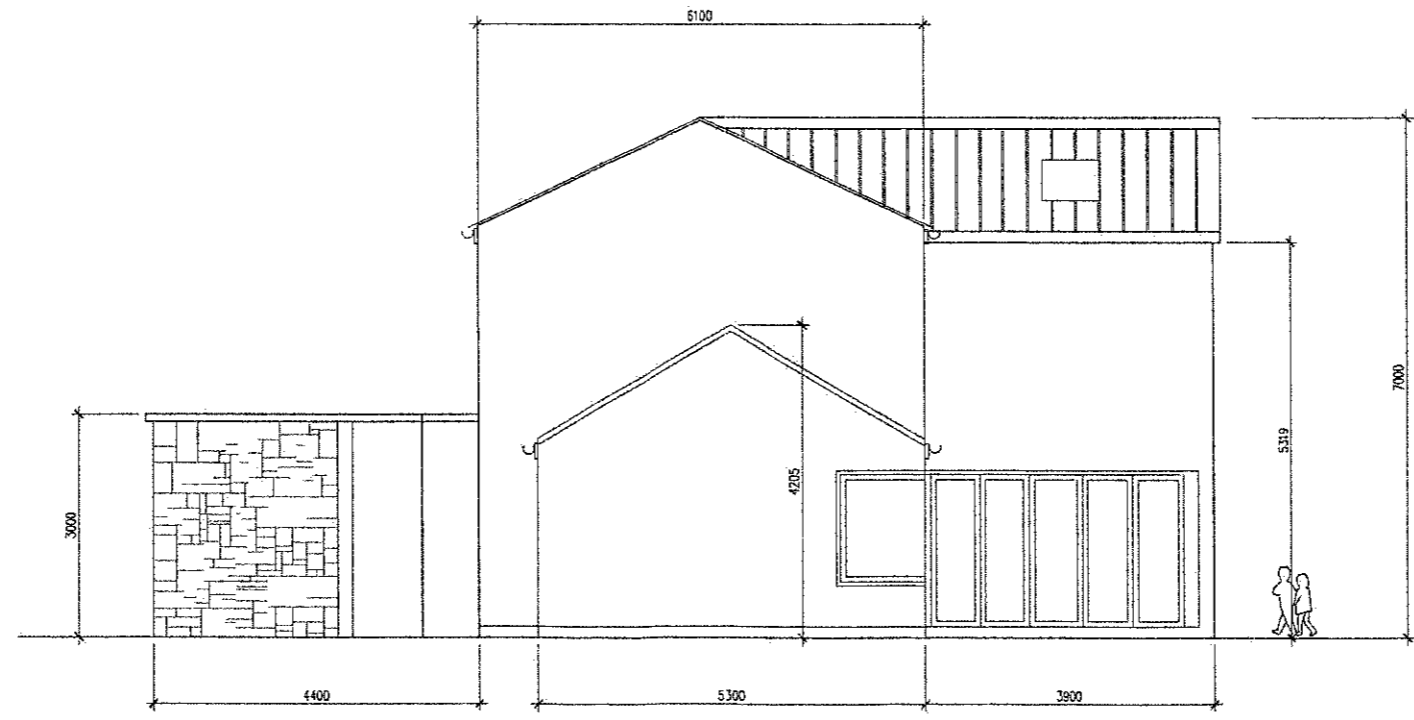
B	RE-ISSUED FOR PLANNING	DK	PO'L	12.09.2018	
A	ISSUED FOR PLANNING	DK	PO'L	06.06.2018	
Rev	Description	Drawn by	Chk'd by	Date	Client app date
Designed	PO'L	Drawn	DK	Checked	PO'L Approved
Client ALAN KENNEDY					
1 Marble Hill Boreenmanna Road Cork		<b>BJS CONSULTANTS</b>		Tel : 021-4315810 Fax : 021-4315823 E-Mail : cad@bjsconsultants.com	
Project Name BALLYNAPARSON, GLANMIRE				Project Number 034	
Title PROPOSED FIRST FLOOR PLAN					
Scale	1:50 1:100	Size	A1 A3	Dwg No:	034.18.18-PL-05
					Rev.: B

PROPOSED FIRST FLOOR PLAN  
SCALE 1:50 @ A1, 1:100 @ A3



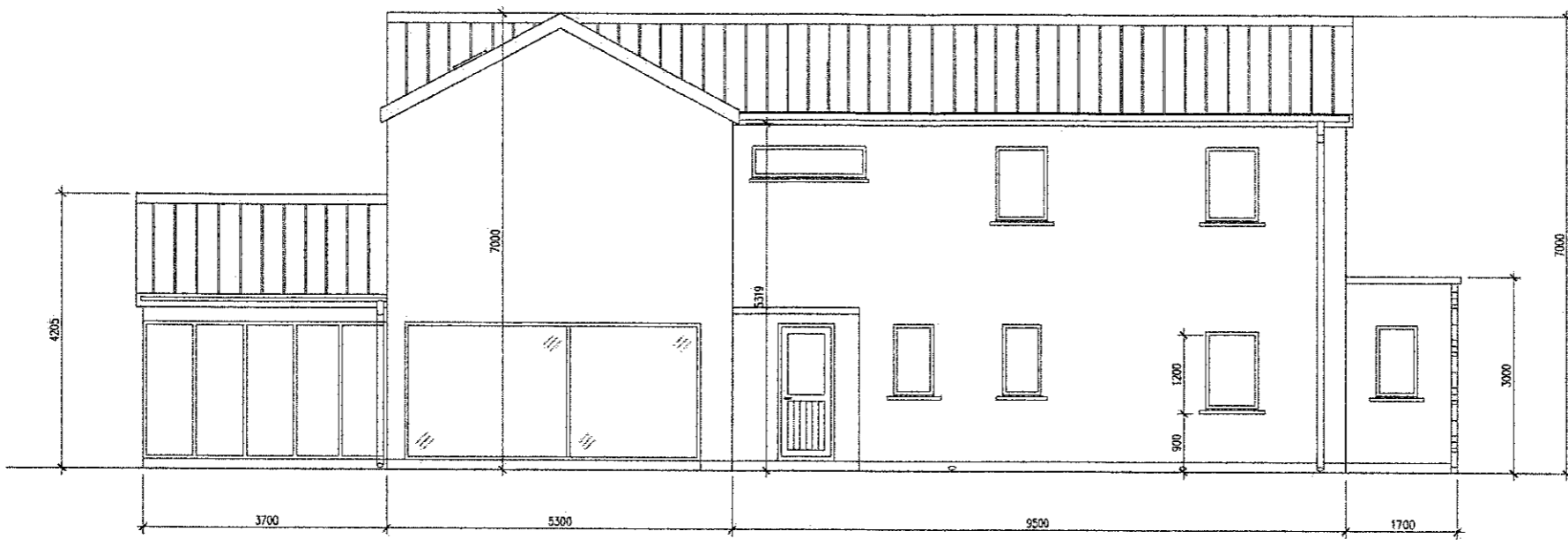


**NORTH EAST ELEVATION**  
SCALE 1:50 @ A1, 1:100 @ A3

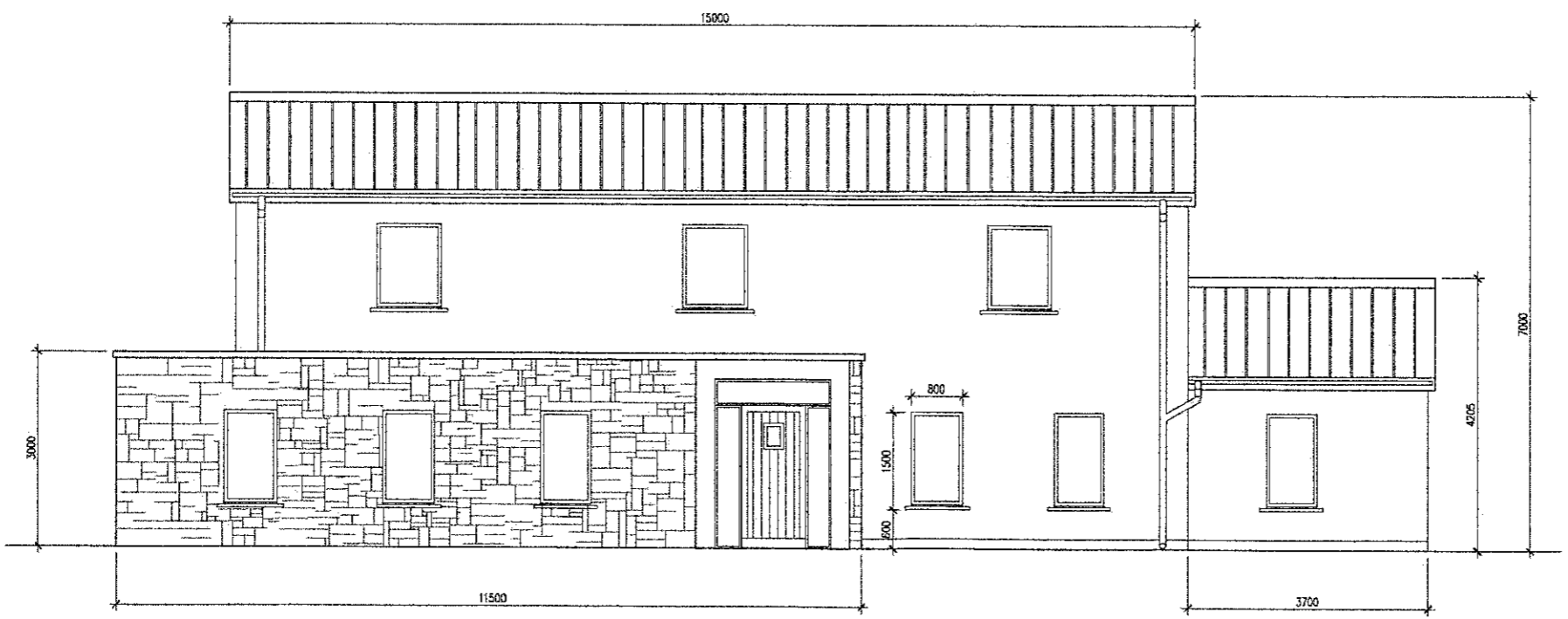


**SOUTH WEST ELEVATION**  
SCALE 1:50 @ A1, 1:100 @ A3

Rev	Description	Drawn by	Chk'd by	Date	Client app date
B	RE-ISSUED FOR PLANNING	DK	PO'L	12.09.2018	
A	ISSUED FOR PLANNING	DK	PO'L	06.06.2018	
Designed PO'L	Drawn DK	Checked PO'L	Approved		
Client <b>ALAN KENNEDY</b>					
1 Marble Hill Boreenmanna Road Cork		<b>BJS CONSULTANTS</b>		Tel : 021-4315810 Fax : 021-4315823 E-Mail : oad@bjaconsultants.com	
Project Name <b>BALLYNAPARSON, GLANMIRE</b>				Project Number <b>034</b>	
Title <b>NORTH &amp; SOUTH ELEVATIONS</b>					
Scale 1:50 1:100	Size A1 A3	Dwg No: 034.18.18-PL-08		Rev.: B	



**SOUTH EAST ELEVATION (REAR)**  
SCALE 1:50 @ A1, 1:100 @ A3



**NORTH WEST ELEVATION (FRONT FACING ROAD)**  
SCALE 1:50 @ A1, 1:100 @ A3

B	RE-ISSUED FOR PLANNING	DK	PO'L	12.09.2018	
A	ISSUED FOR PLANNING	DK	PO'L	06.06.2018	
Rev	Description	Drawn by	Chk'd by	Date	Client app date
Designed	PO'L	Drawn	DK	Checked	PO'L
Client	ALAN KENNEDY				
1 Marble Hill Boreenmenna Road Cork		<b>BJS CONSULTANTS</b>		Tel : 021-4315810 Fax : 021-4315823 E-Mail : oad@bjsc consultants.com	
Project Name				Project Number	
BALLYNAPARSON, GLANMIRE				034	
Title					
EAST & WEST ELEVATIONS					
Scale	1:50	Size	A1	Dwg No:	034.18.18-PL-09
	1:100		A3	Rev.:	B



# Comhairle Cathrach Chorcaí

## Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Alan Kennedy,  
c/o BJS Consultants,  
1 Marble Hill,  
Boreenmanna Road,  
Cork.

08/11/2022

**RE: Section 5 Declaration R745/22 Ballynaparson, Glanmire, Cork.**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, I wish to advise under the provisions of section 5(2)(b) of the Planning and Development Act 2000, as amended, that the further information is required in order to properly assess this application.

Having considered the particulars submitted with the application it considered that one or more of the changes, set out therein, are not exempted development. In the absence of further information, it is not possible to assess the remaining works listed in the Section 5 application. Accordingly, please submit the following:

1. First Floor and Ground Floor plans of dwelling – as now proposed or constructed, whichever the case may be,
2. South West and North East elevations – as now proposed or constructed, whichever the case may be.

Is mise le meas,

**Kate Magner**  
**Development Management Section**  
**Community, Culture and Placemaking Directorate**  
**Cork City Council**



**We are Cork.**

<b>PLANNER'S REPORT</b> <b>Ref. R745 / 22</b>		Cork City Council Culture, Community and Placemaking
<b>Application type</b>	Section 5 Declaration	
<b>Description</b>	See item 2 below	
<b>Location</b>	Ballynaparson, Glanmire	
<b>Applicant</b>	Alan Kennedy	
<b>Date</b>	02/11/2022	
<b>Recommendation</b>	<i>Is Development and Is Not Exempted Development</i>	

In this report 'the Act' means the Planning and Development Act 2000 (as amended) and 'the Regulations' means the Planning and Development Regulations 2001 (as amended), unless otherwise indicated.

### 1. Requirements for a Section 5 Declaration

Section 5(1) of the Planning and Development Act 2000 as amended states,

*5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.*

The requirements for making a section 5 declaration are set out in the Act.

### 2. The Question before the Planning Authority

In framing the question to the planning authority, the applicant states in Q2 of the application form:

*Planning has been granted for the construction of a new dwelling house, domestic garage, wastewater treatment system percolation area and all associated site works (Ref. no. 18/05832). Planning was carried out as per the granted permission with the exception of removal of windows, enlarging rear window, addition of glass door and the addition of a porch area all to the rear elevation (as shown on drawing 034.18.18.PL09) and the placement of the adjacent shed (shown on drawing 034.18.18-PL-11)*

*The only changes that were made to the original planning application include:*

- 1) Removal of windows from rear elevation*
- 2) Widening of window on rear elevation*
- 3) Addition of glass door to rear elevation*
- 4) Addition of small porch to rear elevation*
- 5) Relocation of domestic garage*

### 3. Site Description

The property in question is a two storey dwelling in its own grounds with an ancillary garage.

### 4. Planning History

There are two planning applications associated with the subject site as follows:

<b>15/7005</b>	Construct dwellinghouse and detached garage together with all associated site works
<b>Outcome</b>	Refused 25/02/2016



<b>18/5832</b>	Construct a dwellinghouse, domestic garage, wastewater treatment system, percolation area and all associated site works
<b>Outcome</b>	Granted 15/11/2018

## **5. Legislative Provisions**

### **5.1 The Act**

#### *Section 2(1),*

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

#### *Section 3(1),*

*In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or ‘the making of any material change in the use of any structures or other land’*

#### *Section 4(1)(h),*

*The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

#### *Section 4(2),*

*Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001-2013.*

#### *Section 5(1),*

*(See section 1 of this report)*

#### *Section 177U (9) (screening for appropriate assessment)*

*In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.*

### **5.2 The Regulations**

#### *Article 9 (1)*

*Development to which article 6 relates shall not be exempted development for the purposes of the Act*

- 
- (a) (i) if the carrying out of such development would... contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,*
- (a) (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*

#### *Article 6 (1)*

*Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.*

**SCHEDULE 2, ARTICLE 6, PART 1, Exempted Development — General**

Column 1 Description of Development	Column 2 Conditions and Limitations
<p><b>CLASS 3</b>  <i>The construction, erection or placing within the curtilage of a house of any tent, awning, shade or other object, greenhouse, garage, store, shed or other similar structure.</i></p>	<p>1. No such structure shall be constructed, erected or placed forward of the front wall of a house.</p>

**6. ASSESSMENT**

It should be stated at the outset that the purpose of this report is not to determine the acceptability or otherwise of the proposal at this location in respect to the proper planning and sustainable development of the area, but rather whether or not the matter in question constitutes development, and if so falls within the scope of exempted development.

**6.1 Development**

The first issue for consideration is whether or not the matter at hand is ‘development’.

‘Development’ as defined in the Act (3)(1) comprises two possible chief components: ‘the carrying out of any works on, in, over or under land’, or ‘the making of any material change in the use of any structures or other land’. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

‘Works’ is defined in section 2(1) of the Act as ‘the carrying out of any works on, in, over, or under land’ including ‘any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.’.

I consider that the changes that were made to the original proposal for which planning was granted constitutes development as they comprise of works.

**6.2 Exempted development**

The next issue for consideration is whether or not the matter at hand is exempted development. I note that the applicant has not set out any rationale for under which provision of the Act or of the Regulations they consider the development to be exempt.

This report will consider each of the elements of the development listed grouped under two categories – changes to the dwelling as constructed and the relocation of domestic garage.

As regards the first of the categories I note that a review of the plans provided, when compared to the plans submitted in response to a request for further information, shows changes not listed in the application form. Specifically the front first floor windows and roof do not accord with the plans submitted as part of application ref. no. 18/5832.

No side elevations or sections have been provided. Given the changes to the roof it is likely that some changes have also occurred sides of the dwelling.

No floor plans have been provided. It may also be that the footprint has changed.

Currently there is only a single elevation, no side elevation and no floor plan illustrating the porch listed on the application form. Floor plans and side elevations are also required to fully assess the porch element, which was mentioned on the application form.

I consider it appropriate to request further information to aid in the assessment of the extent of changes.

Regarding the relocation of the garage Condition no. 1 on grant of permission 18/5832 states:

*The development shall be carried out in accordance with the plans and particulars lodged with the application on the 12<sup>th</sup> of July 2018, as amended by the documents / drawings received by the Planning Authority on the 13<sup>th</sup> of September 2018, except as may otherwise be required in order to comply with the conditions herein.*

The garage does not accord with the plans submitted as part of the application process and is contrary to Condition no. 1. I note that Class 3 development cannot apply due to the limitation set out in Article 9 as it would be contrary to this condition.

To conclude I consider that the relocation of the garage is development and is not exempted development.

Further information is however required to assess the changes between the permitted development (Grant of Permission 18/4832) and the plans submitted to assess whether these elements are also exempt.

## **7. ENVIRONMENTAL ASSESSMENT**

### **7.1 Screening for Environmental Impact Assessment**

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly it is considered that an environmental impact statement is not required to be submitted.

### **7.2 Screening for Appropriate Assessment**

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the *Habitats Directive*, the *Appropriate Assessment Guidelines for Planning Authorities 2009* (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the development would not affect the integrity of the European sites referred to above. Accordingly it is considered that appropriate assessment is not required.

## **8. Conclusion**

The question has been asked whether changes made to the development approved under Grant of Permission 18/5832, specifically:

- 1) Removal of windows from rear elevation
- 2) Widening of window on rear elevation
- 3) Addition of glass door to rear elevation
- 4) Addition of small porch to rear elevation
- 5) Relocation of domestic garage

It is considered that the following further information is required to assess this application:

Having considered the particulars submitted with the application it considered that one or more of the changes, set out therein, are not exempted development. In the absence of further information it is not possible to assess all of the matters raised in the Section 5 application. Accordingly please submit the following:

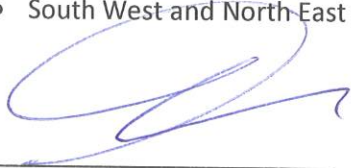
First and Floor plans of dwelling – as now constructed or as proposed whichever the case may be  
South West and North East elevations – as now constructed or as proposed whichever the case may be

## 9. RECOMMENDATION

This report recommends that the following further information be requested:

Having considered the particulars submitted with the application it considered that one or more of the changes, set out therein, are not exempted development. In the absence of further information it is not possible to assess the remaining works listed in your the Section 5 application. Accordingly please submit the following:

- First and Floor plans of dwelling – as now proposed or constructed, whichever the case may
- South West and North East elevations – as now proposed or constructed, whichever the case may be



---

Martina Foley  
A/ Senior Executive Planner



COMHAIRLE CATHRACH CHORCAÍ  
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)  
Fón/Tel: 021-4924762  
Líonra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

Ballynaparson, Lismire, Co. Cork

**2. QUESTION/ DECLARATION DETAILS**

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, Is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Planning has been granted for the construction of a new dwelling house, domestic garage, wastewater treatment system, percolation area and all associated site works (Ref no 18/05832). Planning was carried out as per the granted permission with the exception of removal of windows, enlarging rear window, addition of glass door and the addition of a porch area all to the rear elevation (as shown on drawing 034.18.18-PL09) and the placement of the adjacent shed (shown on drawing 034.18.18-PL08)

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:  
(Use additional sheets if required).

The only changes that were made to the original planning application include:

- 1) Removal of windows from rear elevation
- 2) Widening of window on rear elevation
- 3) Addition of glass door to rear elevation
- 4) Addition of small porch to rear elevation
- 5) Relocation of domestic garage

Cork City Council

24 OCT 2022

Community, Culture  
and Placemaking

3. Are you aware of any enforcement proceedings connected to this site? No  
 If so please supply details:

4. Is this a Protected Structure or within the curtilage of a Protected Structure?  No

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority?

5. Was there previous relevant planning application/s on this site?

If so please supply details:

YES - Ref No. 18/05832

**6. APPLICATION DETAILS**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	Existing = 287m <sup>2</sup> Proposed = 2.8m <sup>2</sup> (Porch Area)
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m)
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
<u>N/A</u>	<u>N/A</u>

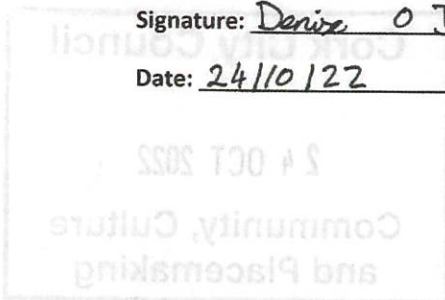
**8. LEGAL INTEREST**

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

9. I / We confirm that the information contained in the application is true and accurate:

Signature: Deirdre O'Dwyer, M.Eng. M.I.E.I.

Date: 24/10/22



## CONTACT DETAILS

### 10. Applicant:

<b>Name(s)</b>	Alan Kennedy
<b>Address</b>	4A Doctors Road Sarsfield Court Glanmire Co. Cork

### 11. Person/Agent acting on behalf of the Applicant (if any):

<b>Name(s):</b>	BJS Consultants		
<b>Address:</b>	1 Marble Hill Boreenmanna Road Cork		
<b>Telephone:</b>	021-4315610		
<b>E-mail address:</b>	info@bjiconsultants.com		
<b>Should all correspondence be sent to the above address?</b> <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes	<input checked="" type="checkbox"/>	No <input type="checkbox"/>

### 12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

#### ADVISORY NOTES:

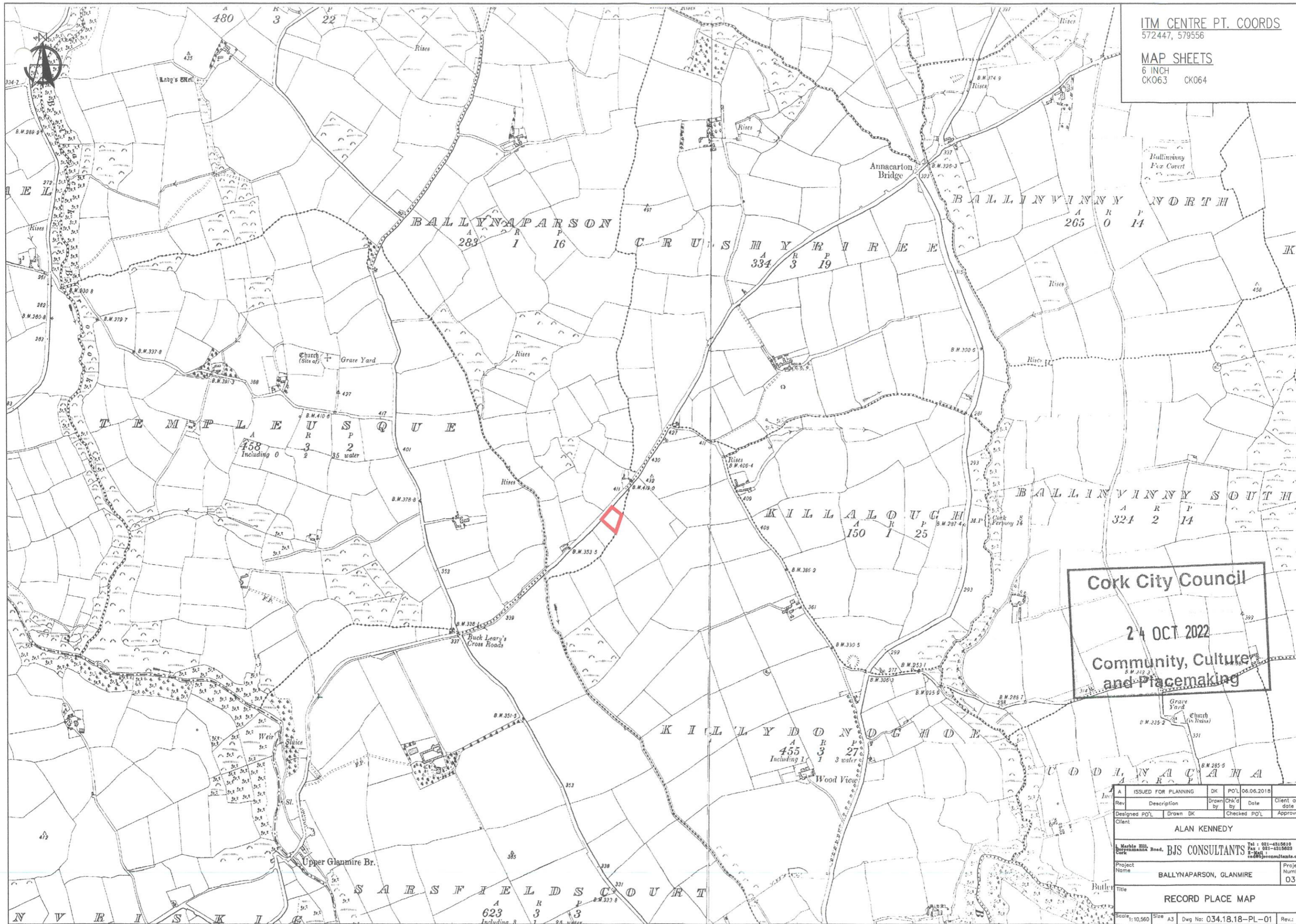
<p>The application must be accompanied by the required fee of €80</p> <p>The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.</p> <p>Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.</p> <p><i>The application should be sent to the following address:</i></p> <p style="text-align: center;"><b>The Development Management Section, Community, Culture &amp; Placemaking Directorate, Cork City Council, City Hall, Anglesea Street, Cork.</b></p>
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- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION:** The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.





ITM CENTRE PT. COORDS

572447, 579556

MAP SHEETS

6 INCH  
CK063 CK064

**Cork City Council**  
  
24 OCT 2022  
  
Community, Culture  
and Placemaking

Rev	Description	Drawn by	Chk'd by	Date	Client app date
Designed	PO'L	Drawn	DK	Checked	PO'L
Client: ALAN KENNEDY					
1, Marble Hill, Ballynaparson Road, BJS CONSULTANTS Tel: 021-4515610 Fax: 021-4515623 E-Mail: info@bjsconsultants.com Website: www.bjsconsultants.com					
Project Name: BALLYNAPARSON, GLANMIRE					Project Number: 034
Title: RECORD PLACE MAP					
Scale: 1:10,560 Size: A3 Dwg No: 034.18.18-PL-01 Rev: A					





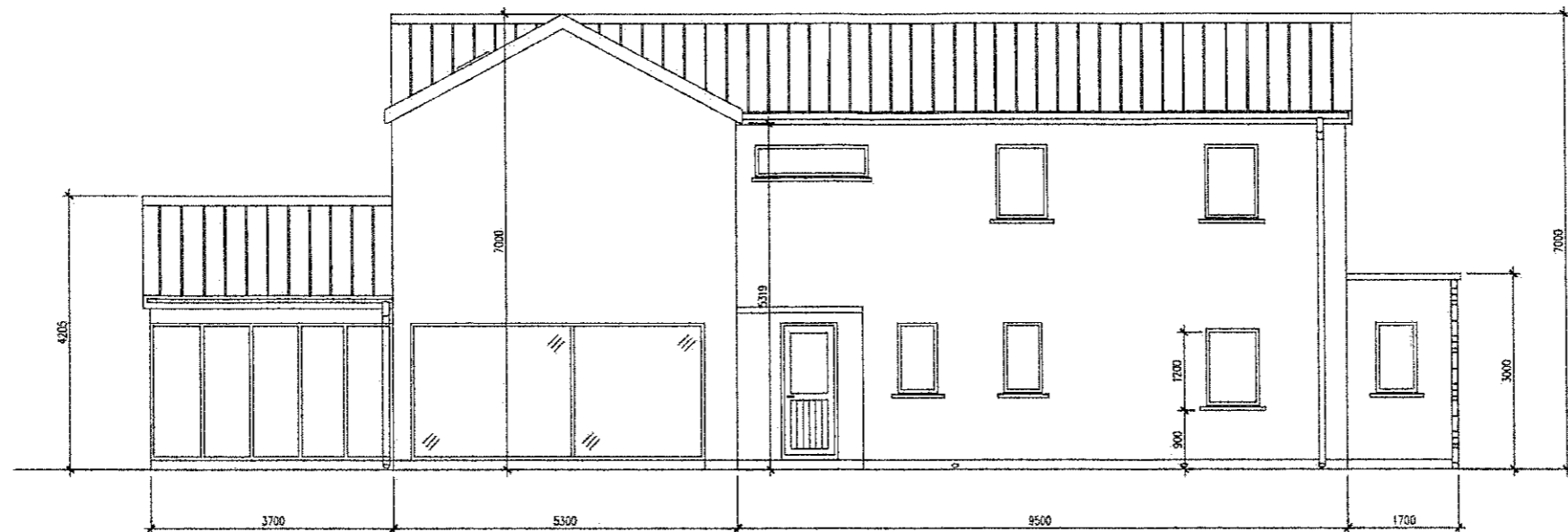
ITM CENTRE PT. COORDS  
572447, 579558

MAP SHEETS  
1:2500  
6244-C

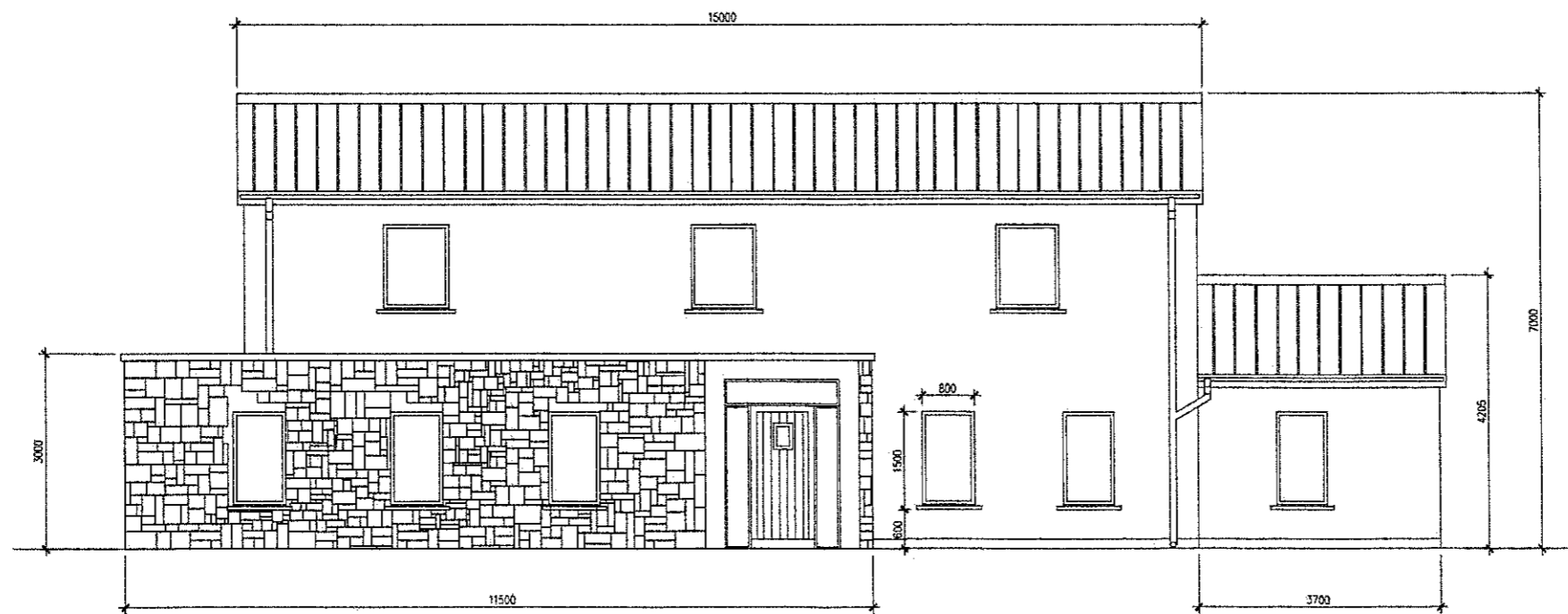


RURAL PLACE MAP  
SCALE 1:2500 @ A3

A	ISSUED FOR PLANNING	DK	PO'L	06.08.2018	
Rev	Description	Drawn by	Chk'd by	Date	Client app date
Designed PO'L	Drawn DK	Checked PO'L	Approved		
Client <b>ALAN KENNEDY</b>					
BJS CONSULTANTS Tel: 081-4515810 Fax: 081-4510483 E-Mail: <a href="mailto:en@bjscorrespondence.com">en@bjscorrespondence.com</a>					
Project Name <b>BALLYNAPARSON, GLANMIRE</b>				Project Number <b>034</b>	
Title <b>RURAL PLACE MAP</b>					
Scale	1:2500	Size	A3	Dwg No:	034.18.18-PL-02
				Rev.:	A



**SOUTH EAST ELEVATION (REAR)**  
SCALE 1:50 @ A1, 1:100 @ A3



**NORTH WEST ELEVATION (FRONT FACING ROAD)**  
SCALE 1:50 @ A1, 1:100 @ A3

Rev	Description	Drawn by	Chk'd by	Date	Client app date
B	RE-ISSUED FOR PLANNING	DK	PO'L	12.09.2018	
A	ISSUED FOR PLANNING	DK	PO'L	06.06.2018	
Designed	PO'L	Drawn	DK	Checked	PO'L
Client		ALAN KENNEDY			
1 Marble Hill Boreenmanna Road Cork		<b>BJS CONSULTANTS</b>		Tel : 021-4315610 Fax : 021-4315623 E-Mail : cad@bjiconsultants.com	
Project Name			BALLYNAPARSON, GLANMIRE		Project Number
					034
Title					
EAST & WEST ELEVATIONS					
Scale	1:50	Size	A1	Dwg No:	034.18.18-PL-09
	1:100		A3	Rev.:	B



NOTES

PLANTING SCHEDULE

- BETULA PENDULA (WHITE BIRCH)
- SALIX NIBA (MILLOW)
- ALNUS GLUTINOSA (ALDER)
- FAGUS SYLVATICA (BEECH)
- ACER CAMPESTRE (MAPLE)

NEW HEDGEROW TO SOUTH WEST

- NEW HEDGEROW TO BE MIX OF
  - HAWTHORN
  - HOLLY
  - BLACKTHORN
  - HAZLE
- IN STAGGERED DOUBLE ROW

NOTE:

PLANTING TO START IN THE FIRST BARE ROOT SEASON AFTER CONSTRUCTION COMMENCES (NOVEMBER TO MARCH)  
 ANY FAILURES ARE TO BE REPLACED THE FOLLOWING BARE ROOT SEASON.  
 TREES ARE ALL TO BE 8-10cm GIRTH AND BARE ROOT AT TIME OF PLANTING



TRENCH SOIL POLISHING FILTER  
 8 No. 10m LONG TRENCHES 500mm WIDE AT 2.5m CENTRES  
 100mm PVC INFILTRATION PIPE WITH 8mm HOLES AT 4, 6 AND 8 O'CLOCK AT 75mm CENTRES ABOVE PIPE  
 PIPE TO BE BEDDED ON 300mm AND COVERED WITH 150mm OF 8 TO 20mm WASHED GRAVEL

SITE LANDSCAPING PLAN  
 SCALE 1:250 @ A1, 1:500 @ A3

A	ISSUED FOR PLANNING	DK	PO'L	12.09.2018	
Rev	Description	Drawn by	Chk'd by	Date	Client app date
	Designed PO'L	Drawn DK	Checked PO'L		Approved
Client ALAN KENNEDY					
1 Marble Hill Boreenmanna Road Cork		BJS CONSULTANTS		Tel : 021-4315610 Fax : 021-4315623 E-Mail : cad@bjsconsultants.com	
Project Name BALLYNAPARSON, GLANMIRE					Project Number 034
Title SITE LANDSCAPING PLAN					
Scale 1:250 1:500	Size A1 A3	Dwg No: 034.18.18-PL-11		Rev.: A	